

November 20, 2020

Rory O'Rourke  
Public Health – Seattle & King County  
401 Fifth Avenue, Suite 1100  
Seattle, Washington 98104

**RE: SOLID WASTE PERMIT APPLICATION  
THE RECYCLING DEPOT  
6004 CORSON AVENUE SOUTH  
SEATTLE, WASHINGTON  
FARALLON PN: 2325-001**

Dear Rory O'Rourke:

Farallon Consulting, L.L.C. (Farallon) has prepared this solid waste permit application on behalf of The Recycling Depot, Inc., owner of The Recycling Depot property at 6004 Corson Avenue South in Seattle, Washington (herein referred to as The Recycling Depot). This solid waste application cover letter describes the basis for our permit application, application contents, and supporting documentation.

Farallon has prepared this application in response to the Solid Waste Inspection Report issued on September 26, 2019 by Jennifer E. Jesson, which identified specific actions and permitting requirements that were required for activities at The Recycling Depot (Inspection Report) and correspondence with Rory O'Rourke on June 4, 2020. We have reviewed the Inspection Report and have prepared the attached application and supporting materials to document the actions taken.

The attached application includes the following components:

- Attachment A – Solid Waste Permit Application Review Cover Sheet and Solid Waste Permit Application
- Attachment B – Land Use Permit Application
- Attachment C – Engineering Drawings
- Attachment D – Plan of Operations
- Attachment E – SEPA Checklist



Please contact the undersigned at (425) 295-0800 if you have questions or need additional information regarding this solid waste permit application.

Sincerely,

**Farallon Consulting, L.L.C.**

Suzy Stumpf, P.E.  
Principal Engineer

Attachments: Attachment A, Solid Waste Permit Application Review Cover Sheet and Application  
Attachment B, Land Use Permit Application  
Attachment C, Engineering Drawings  
Attachment D, Plan of Operations  
Attachment E, SEPA Checklist

SS:mbg

**ATTACHMENT A  
SOLID WASTE PERMIT APPLICATION REVIEW COVER SHEET AND  
APPLICATION**

SOLID WASTE PERMIT APPLICATION  
The Recycling Depot  
6004 Corson Avenue South  
Seattle, Washington

Farallon PN: 2325-001

## Solid Waste Permit Application Review Cover Sheet

**Please place this cover sheet on top of the plans or on the outside of a set of plans.** This cover sheet will help you prepare a complete solid waste permit application. All of the following items must be included in the following order. Incomplete applications will be delayed if all the information is not provided. Submit two (2) copies of the completed permit application packet with the initial permit application review fee (\$739.20, see Item 2 below). Please make checks payable to: SKCDPH. Credit card payments are accepted and can be processed by calling 206-263-9566.

| Name of Business:<br>The Recycling Depot                      |             | Phone:<br>(206) 767-7211   |   |   |                 |
|---|-------------|--|---|---|-----------------|
| Facility Site Address:<br>6004 Corson Avenue South            |             | City:<br>Seattle   | Zip<br>98108  |   |                 |
| Contact Person (Applicant or Agent) Names:<br>Catherine Adams |             | Phone:<br>(206) 940-0757   |   |   |                 |
| Mailing Address:<br>6004 Corson Avenue South                  |             | City:<br>Seattle   | State:<br>Washington<br>Zip:<br>98108   |   |                 |
| Applicant's email:<br>catherine@islandrecycling.com           |             | For City of Seattle Only – SDCI Project Number (if already assigned) |   |   |                 |
| √   | Item Number | Item   | Description   | Page Sheet/Number   | Office Use Only |
| <input type="checkbox"/>                                      | 1           | Zoning for Intended Use  | Confirm zoning with Dept. of Construction and Inspections (Seattle) or Department of Local Services (King County)   | Pending/Attachment B Sheet C0.10  |                 |
| <input type="checkbox"/>                                      | 2           | Base Fee<br>(Hourly rate of \$184.80 charged after the base fee)     | <ul style="list-style-type: none"> <li>New: \$739.20 (4 hour base)</li> <li>Permit Review: \$10,348.80* (56 hour estimate)</li> <li>Final permit: \$4,527.60* (paid after review)</li> </ul> *Estimates, may vary by facility and application completeness  |   |                 |
| <input type="checkbox"/>                                      | 3           | Vicinity Plan  | A vicinity plan or map (having a minimum scale of 1:24,000) that shows the area within one mile of the property boundaries of the facility in terms of the existing and proposed zoning and land uses within that area, residences, and access roads, and other existing and proposed man-made or natural features that may impact the operation. | Attachment C<br>Sheet C0.10   |                 |
| <input type="checkbox"/>                                      | 4           | Engineering Plans  | Engineering plans, reports, specifications, programs, and manuals submitted to the jurisdictional health department or the department must be prepared and certified by a professional engineer registered in the state of Washington, in an engineering discipline appropriate for the solid waste facility type or activity.                    | Attachment C<br>Engineering Drawings,<br>Attachment D<br>Plan of Operations |                 |
| <input type="checkbox"/>                                      | 5           | SEPA Checklist   | Evidence of compliance with Chapter 197-11 WAC, SEPA rules, including SEPA lead agency's determination. May include conditional use permit.   | Attachment E  |                 |
| <input type="checkbox"/>                                      | 6           | Copies of Permits  | Provide copies of other local, state, and federal permits or permit applications that relate to the solid waste facility (e.g. air, stormwater, wastewater, etc.)   | Not Applicable at This Time   |                 |
| <input type="checkbox"/>                                      | 7           | Appendices   | Appendices to address environmental concerns such as dust, odors, vectors, etc.   |   |                 |
| OFFICE USE ONLY   |             |  |   |   |                 |
| Reviewed by:  |             |  | Date:   |   |                 |
| Reviewed by:  |             | Date:  | Time:   | Activity min:   |                 |

Alternative formats available upon request

Permit Number  
 (For official use only)

**Solid Waste Permit Application**

*Chapter 173-350 WAC and Chapter 173-351 WAC,*

*King County Board of Health Code Title 10*

**PART 1. General Information**

|   |   |
|---|---|
| Application Date:<br><b>10/16/2020</b>  | City or unincorporated area where facility is located:<br><b>SEATTLE</b>  |
| Name of Facility:<br><b>The Recycling Depot</b><br><br>Applicant (Company Name, Government Entity):<br><b>The Recycling Depot, Inc.</b><br><br>Applicant Mailing Address:<br><b>6004 Corson Avenue South, Seattle, WA 98108</b> | Applicant is: <b>Dave McElroy</b><br><input type="checkbox"/> Facility owner <b>dave@islandrecycling.com</b><br><input checked="" type="checkbox"/> Facility operator<br><input checked="" type="checkbox"/> Other(specify)<br><br>Applicant Contact Name and Position in Company/Government Entity:<br><b>Dave McElroy, General Manager</b><br><br>Contact phone: <b>(206) 940-0757</b><br>E-mail: |

**PART 2. Solid Waste Activity/Facility Type**

Mark all solid waste handling activities/facilities that are included in this permit application.  
 Complete applicable PART 3 sections for each activity/facility type.

|   |  |
|---|--|
| <input type="checkbox"/> Municipal Solid Waste Landfill Unit per Chapter 173-351 WAC<br><input checked="" type="checkbox"/> Recycling and/or material recovery per WAC 173-350-210<br><input type="checkbox"/> Composting per WAC 173-350-220<br><input type="checkbox"/> Land application per WAC 173-350-230<br><input type="checkbox"/> Energy recovery and incineration per WAC 173-350-240<br><input type="checkbox"/> Anaerobic digesters per WAC 173-350-250<br><input type="checkbox"/> Transfer station per WAC 173-350-310<br><input type="checkbox"/> Drop box facility per WAC 173-350-310<br><input checked="" type="checkbox"/> Piles used for storage or treatment per WAC 173-350-320 | <input type="checkbox"/> Surface impoundment per WAC 173-350-330<br><input type="checkbox"/> Tank per WAC 173-350-330<br><input type="checkbox"/> Waste tire storage per WAC 173-350-350<br><input type="checkbox"/> Moderate risk waste handling per WAC 173-350-360<br><input type="checkbox"/> Limited purpose landfill per WAC 173-350-400<br><input type="checkbox"/> Inert waste landfill per WAC 173-350-410<br><input type="checkbox"/> Other methods of solid waste handling per WAC 173-350-490 (specify):<br><input type="checkbox"/> Collection/transportation vehicle per King County BOH Chapter 10.05 |
|---|--|

**PART 3. Solid Waste Activity/Facility Details**

|  |                                |
|--|--------------------------------|
| <input type="checkbox"/> <b>Municipal Solid Waste Landfill Unit</b>  |                                |
| <b>Attach the following:</b>   | <b>Document Name, Page No.</b> |
| Engineering plans, reports and specifications per WAC 173-351-730(5)   |                                |
| Demonstrations that the facility meets the location standards of WAC 173-351-130 and 173-351-140   |                                |
| Hydrogeologic report and water quality monitoring plan, and demonstrations, prepared in accordance with WAC 173-351-400  |                                |
| A plan of operations, and demonstrations, meeting the requirements of WAC 173-351-200, 173-351-210 and 173-351-220   |                                |
| An engineering report comprehensively describing the existing site conditions and an analysis of the facility, including closure, post-closure criteria and any necessary demonstrations per WAC 173-351-730(5)(b) |                                |

|  |  |
|--|--|
| An engineering report containing a description of the existing site conditions and an analysis of the proposed facility per WAC 173-351-730(5)(c)  |  |
| A construction quality assurance and quality control plan per WAC 173-351-730(6)   |  |
| Closure and post-closure plans per WAC 173-351-500   |  |
| Documentation per WAC 173-351-730(1)(b)(viii) for managing leachate  |  |
| Cost estimates and mechanisms to meet financial assurance per WAC 173-351-600  |  |
| Plan for meeting landfill operator certification per Chapter 173-300 WAC, Certification of operators of solid waste incinerator and landfill facilities (WAC 173-351-220(4)(b))  |  |
| Documentation that owners of property located within 1,000 feet of the landfill boundary have been notified that the proposed facility may impact their ability to construct water supply wells, in accordance with Chapter 173-160 WAC, Minimum standards for construction and maintenance of wells (WAC 173-351-730(1)(a)(iv)) |  |
| A demonstration of how the MSWLF conforms to the approved local comprehensive solid waste management plan in place at the time of application  |  |
| Additional information required by the jurisdictional health department per WAC 173-351-730(1)(b)(xii)   |  |

| <input type="checkbox"/> <b>Research, Development and Demonstration for Municipal Solid Waste Landfill Unit/s</b>                                |                                |
|--|--------------------------------|
| <b>Attach the following:</b>   | <b>Document Name, Page No.</b> |
| Description of activity for which a Research, Development and Demonstration permit is sought   |                                |
| Description of demonstrable project goals  |                                |
| Demonstration that the MSWLF unit is not a source or potential source of contamination   |                                |
| Demonstration that leachate depth on the liner will be maintained at one foot (30 cm) or less  |                                |
| For alternative final cover proposals, a demonstration that infiltration of liquids will not cause contamination of groundwater or surface water |                                |
| Description of the quantity and type of liquids to be introduced and method for adding liquids   |                                |
| Demonstration that the leachate discharge or containment system has capacity for additional liquids  |                                |
| Description of monitoring or testing to measure progress in attaining project goals  |                                |
| Engineering reports, plans and specifications  |                                |
| Additional information required by the jurisdictional health department  |                                |

*Continue on next page...*

| <input checked="" type="checkbox"/> <b>Recycling and Material Recovery Facilities</b>                            |  |
|--|--|
| <b>Attach the following:</b>   | <b>Document Name, Page No.</b>   |
| Engineering reports, plans and specifications that address the design standards of WAC 173-350-210(4) and (5)    | Attachment C, Engineering Drawings<br>Attachment D, Plan of Operations |
| A plan of operation meeting the requirements of WAC 173-350-210(6)   | Attachment D, Plan of Operations                                       |
| A closure plan meeting the requirements of WAC 173-350-210(8)  | Attachment D, Plan of Operations                                       |
| Additional information required by the jurisdictional health department per WAC 173-350-210(6)(b)(v) and (10)(d) | To be determined by Public Health Dept.                                |

| <input type="checkbox"/> <b>Composting Facilities</b>   |                                |
|---|--------------------------------|
| <b>Attach the following:</b>  | <b>Document Name, Page No.</b> |
| Engineering reports, plans and specifications that address the design standards of WAC 173-350-220(4) and (5) |                                |
| A plan of operation meeting the requirements of WAC 173-350-220(6)  |                                |
| A closure plan meeting the requirements of WAC 173-350-220(8)   |                                |
| Additional information required by the jurisdictional health department per WAC 173-350-220(6)(e)(vi)         |                                |

| <input type="checkbox"/> <b>Land Application</b>   |                                |
|--|--------------------------------|
| <b>Attach the following:</b>   | <b>Document Name, Page No.</b> |
| Contact information as required by WAC 173-350-230(10)(a)(i)                                       |                                |
| Analysis of pollutant concentrations as required by WAC 173-350-230(10)(a)(ii)                     |                                |
| Analysis of nutrients as required by WAC 173-350-230(10)(a)(iii)                                   |                                |
| Analysis of physical/chemical parameters as required by WAC 173-350-230(10)(a)(iv)                 |                                |
| Discussion of any pathogens known or suspected as required by WAC 173-350-230(10)(a)(v)            |                                |
| Additional analysis required by the jurisdictional health department by WAC 173-350-230(10)(a)(vi) |                                |
| Land application site characterization as required by WAC 173-350-230(10)(a)(vii)                  |                                |
| A plan of operation meeting the requirements of WAC 173-350-230(6)                                 |                                |

*Continue on next page...*

| <input type="checkbox"/> <b>Energy Recovery and Incineration Facilities</b>   |                                |
|---|--------------------------------|
| <b>Attach the following:</b>  | <b>Document Name, Page No.</b> |
| Engineering reports, plans and specifications that address the design and documentation standards of WAC 173-350-240(4) and (5)                         |                                |
| A plan of operation meeting the requirements of WAC 173-350-240(6)  |                                |
| A closure plan meeting the requirements of WAC 173-350-240(8)   |                                |
| Plan for meeting landfill operator certification per Chapter 173-300 WAC, Certification of operators of solid waste incinerator and landfill facilities |                                |
| Additional information required by the jurisdictional health department per WAC 173-350-240(6)(b)(vi)   |                                |

| <input type="checkbox"/> <b>Anaerobic Digesters</b>   |                                |
|---|--------------------------------|
| <b>Attach the following:</b>  | <b>Document Name, Page No.</b> |
| Engineering reports, plans and specifications that address the design standards of WAC 173-350-250(4) |                                |
| A plan of operation meeting the requirements of WAC 173-350-250(6)(f)                                 |                                |
| A closure plan meeting the requirements of WAC 173-350-250(8)   |                                |
| Additional information required by the jurisdictional health department per WAC 173-350-250(6)(d)(iv) |                                |

| <input type="checkbox"/> <b>Transfer Stations and Drop Boxes</b>  |                                |
|---|--------------------------------|
| <b>Attach the following:</b>  | <b>Document Name, Page No.</b> |
| Engineering reports, plans and specifications that address the design and documentation standards of WAC 173-350-310(4) and (5) |                                |
| A plan of operation meeting the requirements of WAC 173-350-310(6)  |                                |
| A closure plan meeting the requirements of WAC 173-350-310(8)   |                                |
| Additional information required by the jurisdictional health department per WAC 173-350-310(6)(d)(v)                            |                                |

| <input checked="" type="checkbox"/> <b>Piles for Treatment and Storage</b>  |  |
|---|--|
| <b>Attach the following:</b>  | <b>Document Name, Page No.</b>   |
| Engineering reports, plans and specifications that address the design and documentation standards of WAC 173-350-320(4) and (5) | Attachment C, Engineering Drawings<br>Attachment D, Plan of Operations |
| A plan of operation meeting the requirements of WAC 173-350-320(6)  | Attachment D, Plan of Operations                                       |
| A closure plan meeting the requirements of WAC 173-350-320(8)   | Attachment D, Plan of Operations                                       |
| Additional information required by the jurisdictional health department per WAC 173-350-320(6)(b)(v)                            | To be determined by Public Health Dept.                                |



| <input type="checkbox"/> <b>Surface Impoundments and Tanks</b>   |                                |
|--|--------------------------------|
| <b>Attach the following:</b>   | <b>Document Name, Page No.</b> |
| Engineering reports, plans and specifications that address the design and documentation standards of WAC 173-350-330(4) and (5)                        |                                |
| A plan of operation meeting the requirements of WAC 173-350-330(6)   |                                |
| For surface impoundments not equipped with a leak detection layer, hydrogeologic reports and plans that address the requirements of WAC 173-350-330(7) |                                |
| A closure plan meeting the requirements of WAC 173-350-330(8)  |                                |
| Additional information required by the jurisdictional health department per WAC 173-350-330(6)(b)(vi)  |                                |

| <input type="checkbox"/> <b>Waste Tire Storage</b>  |                                |
|---|--------------------------------|
| <b>Attach the following:</b>  | <b>Document Name, Page No.</b> |
| Engineering reports, plans and specifications that address the design and documentation standards of WAC 173-350-350(4) and (5) |                                |
| A plan of operation meeting the requirements of WAC 173-350-350(6)  |                                |
| A closure plan meeting the requirements of WAC 173-350-350(8)   |                                |
| Documentation as needed to meet the financial assurance requirements of WAC 173-350-350(9)                                      |                                |
| Additional information required by the jurisdictional health department per WAC 173-350-350(6)(b)(vii)                          |                                |

| <input type="checkbox"/> <b>Moderate Risk Waste Handling Facility</b>   |                                |
|---|--------------------------------|
| <b>Attach the following:</b>  | <b>Document Name, Page No.</b> |
| Engineering reports, plans and specifications that address the design and documentation standards of WAC 173-350-360(4) and (5) |                                |
| A plan of operation meeting the requirements of WAC 173-350-360(6)  |                                |
| A closure plan meeting the requirements of WAC 173-350-360(8)   |                                |
| Documentation as needed to meet the financial assurance requirements of WAC 173-350-360(9)                                      |                                |
| Additional information required by the jurisdictional health department per WAC 173-350-360(6)(b)(vii)                          |                                |

*Continue on next page...*

| <input type="checkbox"/> Limited Purpose Landfills   |                         |
|--|-------------------------|
| Attach the following:  | Document Name, Page No. |
| Demonstrations that the facility meets the location standards of WAC 173-350-400(3)  |                         |
| Documentation that owners of property located within 1,000 feet of the landfill boundary have been notified that the proposed facility may impact their ability to construct water supply wells, in accordance with WAC 173-350-400(10)(a) and Chapter 173-160 WAC, Minimum standards for construction and maintenance of wells. |                         |
| Engineering reports/plans and specifications that address the design and documentation standards of WAC 173-350-400(4) and (5)   |                         |
| A plan of operation meeting the requirements of WAC 173-350-400(6)   |                         |
| Hydrogeologic reports and plans that address the requirements of WAC 173-350-400(7)  |                         |
| A closure plan meeting the requirements of WAC 173-350-400(8)  |                         |
| A post-closure plan meeting the requirements of WAC 173-350-400(11)  |                         |
| Documentation as needed to meet the financial assurance requirements of WAC 173-350-400(9)   |                         |
| Plan for meeting landfill operator certification per Chapter 173-300 WAC, Certification of operators of solid waste incinerator and landfill facilities  |                         |
| Additional information required by the jurisdictional health department per WAC 173-350-400(6)(c)(v)   |                         |

| <input type="checkbox"/> Inert Waste Landfill   |                         |
|---|-------------------------|
| Attach the following:   | Document Name, Page No. |
| Engineering reports/plans and specifications that address the design and documentation standards of WAC 173-350-410(4) and (5)  |                         |
| A plan of operation meeting the requirements of WAC 173-350-410(6)  |                         |
| A closure plan meeting the requirements of WAC 173-350-410(8)   |                         |
| Documentation that all owners of property located within 1,000 feet of the landfill boundary have been notified that the proposed facility may impact their ability to construct water supply wells, in accordance with WAC 173-350-410(10)(d) and Chapter 173-160 WAC, Minimum standards for construction and maintenance of wells |                         |
| Plan for meeting landfill operator certification per Chapter 173-300 WAC, Certification of operators of solid waste incinerator and landfill facilities   |                         |
| Additional information required by the jurisdictional health department per WAC 173-350-410(6)(b)(iv)   |                         |

| Attachments                         |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | For a facility/activity to be permitted under Chapter 173-350 WAC, attach a vicinity plan or map per WAC 173-350-715(1)(d)   |
| <input type="checkbox"/>            | For a facility permitted under Chapter 173-351 WAC, attach a vicinity plan or map per WAC 173-351-730(5)(a)(iii)(B)  |
| <input checked="" type="checkbox"/> | Attach evidence of authority to sign this permit application per WAC 173-351-730(7) or WAC 173-350-715(3) (for example, a printout from the Washington Secretary of State for corporations, or printout from a government website) |
| <input checked="" type="checkbox"/> | Attach evidence of compliance with Chapter 197-11 WAC, SEPA rules (i.e. submit completed SEPA checklist)   |

## PART 4. Facility Information

|  |   |
|--|---|
| Facility Physical Address: <b>6004 Corson Avenue South<br/>Seattle, Washington 98108</b> | Responsible Official Name and Position at Facility:<br><b>Catherine Adams, Office Manager</b><br>Phone: <b>(206) 325-7288</b><br>E-mail: <b>catherine@islandrecycling.com</b> |
| Facility Mailing Address (if different):   | Facility phone: <b>(206) 767-7211</b>   |

| <b>Facility Location (at front gate)</b>  |          |       |   |           |
|---|----------|-------|---|-----------|
| Section   | Township | Range | Latitude                                  | Longitude |
| Location Description <b>PORTIONS OF THE SW ¼ OF THE SE ¼ OF SEC. 20, TWP. 24N, RNG. 04E, W.M.</b>   |          |       |   |           |
| Legal Description of Site<br>PUBLIC BENEFIT SUBD TR 17 GEOTOWN TGW VAC ALLEY ADJ LESS ST (PER SEATTLE - ROW ACQUISTION QCD REC# 20170713000190) |          |       |   |           |
| Property Tax Account Number(s)<br><b>6920700060</b>   |          |       | Facility Site Zoning<br><b>IG2 U / 85</b> |           |

| <b>Required or Existing Permits at the Facility Site</b> |                |                                     |          |                 |
|--|----------------|-------------------------------------|----------|-----------------|
| Type of permit <i>(check box)</i>                        | Need to Obtain | Existing Permit                     |          |                 |
|  |                | Regulating Authority                | Permit # | Expiration Date |
| <input checked="" type="checkbox"/> Solid waste permit   | X              | Public Health Seattle & King County |          |                 |
| <input type="checkbox"/> NPDES permit                    |                |                                     |          |                 |
| <input type="checkbox"/> Biosolids permit                |                |                                     |          |                 |
| <input type="checkbox"/> State waste discharge permit    |                |                                     |          |                 |
| <input type="checkbox"/> Conditional use permit          |                |                                     |          |                 |
| <input type="checkbox"/> Stormwater permit               |                |                                     |          |                 |
| <input type="checkbox"/> Hydraulic permit                |                |                                     |          |                 |
| <input type="checkbox"/> DNR Surface mining permit       |                |                                     |          |                 |
| <input type="checkbox"/> Flood control permit            |                |                                     |          |                 |
| <input type="checkbox"/> Fire permit                     |                |                                     |          |                 |
| <input type="checkbox"/> Wetlands permit                 |                |                                     |          |                 |
| <input type="checkbox"/> Air quality permit              |                |                                     |          |                 |
| <input type="checkbox"/> DNR Forest Practices            |                |                                     |          |                 |
| <input type="checkbox"/> Other                           |                |                                     |          |                 |

**Mark the solid waste handling activities/facilities that are already taking place.**

- Municipal solid waste landfill per Chapter 173-351 WAC
- Recycling and material recovery per WAC 173-350-210
- Composting per WAC 173-350-220
- Land application per WAC 173-350-230
- Energy recovery and incineration per WAC 173-350-240
- Anaerobic digesters per WAC 173-350-250
- Transfer station per WAC 173-350-310
- Drop box facility per WAC 173-350-310
- Piles used for storage or treatment per WAC 173-350-320

- Surface impoundment per WAC 173-350-330
- Tank per WAC 173-350-330
- Waste tire storage per WAC 173-350-350
- Moderate risk waste handling per WAC 173-350-360
- Limited MRW per WAC 173-350-360
- Limited purpose landfill per WAC 173-350-400
- Inert waste landfill per WAC 173-350-410
- Other methods of solid waste handling per WAC 173-350-490  
(specify):
- Collection/transportation vehicle per King County BOH Chapter 10.05

**PART 4. Additional Contact Information**

**Facility Owner(s)**

(attach additional sheets if more than one facility owner)

Responsible Official:

**James Nutter**

Company Name, Government Entity, etc.:

**A Sunny Place, LLC**

Position in Company or Government Entity:

**Owner**

Contact Name (if different):

Contact Mailing Address :

**219 Poipu Drive, Honolulu, Hawaii 96825**

Contact phone: **(808) 216-9777**

E-mail: **jim@recyclingdepot.com**

**Facility Operator(s)** Same as Facility Owner(s)  YES

(attach additional sheets if more than one facility operator)

Responsible Official:

**Catherine Adams**

Company Name, Government Entity, etc.:

**The Recycling Depot, Inc.**

Position in Company or Government Entity:

**Office Manager**

Contact Name (if different):

Contact Mailing Address :

**6004 Corson Avenue South, Seattle, Washington**

Contact phone: **(206) 325-7288**

E-mail: **catherine@islandrecycling.com**

**Property Owner(s)** Same as Facility Owner(s)  YES

(attach additional sheets if more than one property owner)

Property Owner Name:

Contact Name (if different):

Contact Mailing Address :

Contact phone:

E-mail:

## PART 5. Signature and Verification of Applicant

(Refer to WAC 173-351-730(7) or 173-350-715(3) for appropriate signing authority)

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this application and all attachments. Based on my inquiry of the individuals responsible for providing the information, I believe the information is true, accurate and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

James Gordon Nutter President  
(Applicant's Signature - printed) (Title)

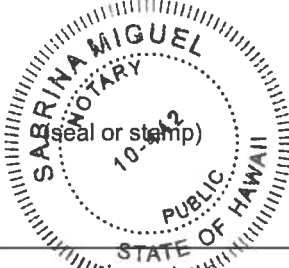
[Handwritten Signature] 11/9/2020  
(Applicant's Signature) (Date)

## PART 6. Notary Public Verification

State of Hawaii  
City of \_\_\_\_\_  
County of Honolulu

Signed or attested before me on 09 November 2020

by Sabrina Miguel



[Handwritten Signature]  
(Signature)

My appointment expires:

December 26, 2022  
(Date)

Alternative formats available upon request. People with impaired hearing may call Washington Relay Service at 711. People with speech disability may call TTY at 877-833-6341.

|   |                                  |
|---|----------------------------------|
| Doc. Date: <u>10/16/2020</u>                            | # Pages: <u>9</u>                |
| Notary Name: <u>Sabrina Miguel</u>                      | Notary Commission: <u>10-442</u> |
| Doc. Description: <u>Solid Waste Permit Application</u> |                                  |
| <u>[Handwritten Signature]</u>                          | Date: <u>11/09/2020</u>          |
| Notary Signature  | Date                             |

**ATTACHMENT B  
LAND USE PERMIT APPLICATION**

SOLID WASTE PERMIT APPLICATION

The Recycling Depot  
6004 Corson Avenue South  
Seattle, Washington

Farallon PN: 2325-001



**City of Seattle**  
 Department of Construction and Inspections  
 700 Fifth Avenue, Suite 2000  
 P.O. Box 34019  
 Seattle, WA 98124-4019  
 (206) 684-8850

SDCI Project Number

**3036361-LU & 001744-20PA**

## Statement of Financial Responsibility/ Agent Authorization

|                        |                                     |
|------------------------|-------------------------------------|
| <b>Project Address</b> | 6004 Corson Ave., Seattle, Wa 98108 |
|------------------------|-------------------------------------|

### NAME AND ADDRESS OF FINANCIALLY RESPONSIBLE PARTY (Required)

|   |  |
|---|--|
| A. Name of Individual or Entity ( <i>Company, Partnership, etc.</i> ) Assuming Financial Responsibility | The Recycling Depot  |
| B. Name of Individual Signing on Behalf of an Entity ( <i>Company, Partnership, etc.</i> )              | James Nutter   |
| C. Financially Responsible Party Relationship to Property   | <input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Property Lessee <input type="checkbox"/> Property Contract Purchaser<br><br><input type="checkbox"/> Public Agency <input type="checkbox"/> Service Requestor (check only if request does not directly relate to the development of real property i.e. request for interpretation, legal building site letter) |
| D. Mailing Address ( <i>of individual signing statement</i> )   | 6004 Corson Ave., Seattle, Wa 98108  |
| E. Telephone ( <i>of individual signing statement</i> )   | 808-216-9777   |
| F. Email ( <i>of individual signing statement</i> )   | Jim@islandrecycling.com  |

### Individual Declaration of Financial Responsibility (*must match the individual's name listed in "A" above*)

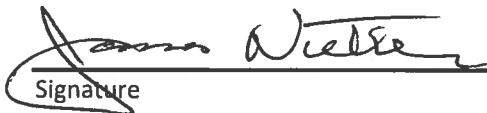
I \_\_\_\_\_ (printed name) declare that I am the \_\_\_\_\_ (relationship to project or service request) and that I am responsible for payment of all fees associated with this project or other request to SDCI requiring payment of fees, including all hourly or other fees which may accrue during the review and/or post-issuance whether the permit is issued or whether the application is canceled or denied before the permit is issued.

Signature

Date

**Entity Declaration of Financial Responsibility** (must match the individual name in "B" above and have authority to bind entity named in "A" above)

I James Nutter (printed name) declare that in my capacity as President (position within entity - ie manager, CFO, etc) for The Recycling Depot (financially responsible entity named in "A" above) I have the authority to bind the Financially Responsible party named above to payment of all fees associated with this project or other request to SDCI requiring payment of fees, including all hourly or other fees which may accrue during the review and/or post-issuance whether the permit is issued or whether the application is canceled or denied before the permit is issued.

  
Signature

7/20/2020

Date

**AGENT AUTHORIZATION (Optional):**

I hereby authorize the individual named below to act as the primary contact (aka primary applicant) for this project. This individual is not responsible for the payment of fees.

Primary Applicant Name: Christopher P. Kovac

Primary Applicant Phone: 425-394-4419

Primary Applicant Email: ckovac@farallonconsulting.com

Primary Applicant Address: 975 5th. Ave. Northwest, Issaquah, WA 98027



INSTRUCTIONS: Complete all areas of sections 1 - 7 that pertain to your project. Please note that sections 8 - 14 are to be completed by Seattle DCI staff.

\*Mac users fill out this form with Acrobat not Reader

### 1. APPLICANT INFORMATION

PROJECT ADDRESS: 6004 Corson Avenue South, Seattle, Washington 98108 PROJECT #: 1049139

DESCRIPTION OF WORK: Permit for facility operations areas that were expanded in excess of allowed us of previous land use permit, SDCI (DPD)#: 6271785.

OWNER: James and Karen Leigh Nutter ADDRESS: 219 Polpu Drive, Honolulu, Hawaii 96825

PHONE: E-MAIL:

CONTACT PERSON: Catherine Adams ADDRESS: 6004 Corson Avenue South, Seattle, Washington 98108

PHONE: (206) 940-0757 FAX: E-MAIL: catherine@islandrecycling.com

PREVIOUS RELATED MUPs: 6271785

RELATED STANDARD PLANS:

### 2. LAND USE CODE INFORMATION

ZONE: IG2 U85 ASSESSOR'S PARCEL NO.: 692070-0060 DESIGN REVIEW?  Yes  No

OVERLAY ZONING: HISTORIC OR LANDMARK DISTRICT: No

SHORELINE ZONE:  Exempt  Requires Shoreline review

SEPA:  Exempt  Requires review

| EXISTING USE                                 | SQ. FT. | PROPOSED USE | SQ. FT. |
|--|---------|--------------|---------|
| Outdoor and covered metal scrap yard storage | 12,000  | Same         |         |
|  |         |              |         |
|  |         |              |         |
|  |         |              |         |

DEPARTMENT OF NEIGHBORHOODS CERTIFICATE OF APPROVAL REQUIRED?  Yes  No

STREET/ALLEY IMPROVEMENTS OR WORK IN THE RIGHT OF WAY REQUIRED?  Yes  No

PARKING SPACES: NUMBER OF DWELLING UNITS

| Existing | Onsite | Offsite | Accessible | Existing   | Proposed New |
|----------|--------|---------|------------|------------|--------------|
|          | 5      | 0       | 1          | 0          | 0            |
| Proposed | 5      | 0       | 1          | Demolished | Live/Work    |

Offsite Location: TOTAL:

### 3. HOUSING UNIT OCCUPANCY

DEFINITION: Housing unit means any dwelling unit, housekeeping unit, guest room, dormitory, or single room occupancy unit, and may include a residential unit in a commercial building, an artist's studio dwelling unit, or a live/work unit.

CHECK ONLY ONE BOX BELOW TO INDICATE HOUSING OCCUPANCY AT DATE OF PERMIT APPLICATION.

Unit(s) unoccupied  Units occupied by residential tenant

Unit occupied by property owner  Do not know

No units on property  Refer to property owner/tenant assistance

Unit(s) on property not affected by permit scope

I certify, under penalty of perjury under the laws of the State of Washington, that the above information is true and correct.

Owner/Applicant Signature: Printed Name: Date: Place:

### 4. GROUND DISTURBANCE

GROUND DISTURBANCE:  Yes  No Excavation - cubic yards: 50 Maximum height: 0.5'

DISPOSAL SITE:  Outside City of Seattle Fill - cubic yards: 50 Maximum height: 0.5'

Inside City of Seattle Address and/or permit #:

Erosion control is required PRIOR to any ground disturbance. Please refer to Construction Stormwater Control and Soil Amendment Standard Plan.

### CUSTOMER ALERT!

Site Inspection Required Prior to First Ground Disturbance - Call (206) 684-8900

Preconstruction Conferences, When Required - Call (206) 684-8860

Rules for Ufer Grounds - Call (206) 684-5383

Required SDOT Permits and Inspections

Water Service Inspection by SPU Required

Waste Diversion Report to be submitted to SPU - Projects >750 square feet must submit a Waste Diversion Report to SPU within 60 days of DCI project final inspection approval.

### 5. BUILDING CODE INFORMATION

MULTIPLE BUILDINGS IN THIS PROJECT?  Yes  No

CODE USED FOR DESIGN (select one):  2012 Seattle Building Code  2012 Seattle Residential Code  2012 SBC (struct) and 2012 SRC (arch)

DCI building ID: (see building data sheet)

Existing # of above-grade stories: Proposed # of above-grade stories: Mezzanines?  Yes  No

Existing # of below-grade stories: Proposed # of below-grade stories: Location:

| FLOOR LEVEL | GROUP | OCCUPANCY/USE | FLOOR AREA | SPRINKLER (Y/N) | OTHER FIRE PROTECTION |
|-------------|-------|---------------|------------|-----------------|-----------------------|
|             |       |               |            |                 |                       |
|             |       |               |            |                 |                       |
|             |       |               |            |                 |                       |
|             |       |               |            |                 |                       |
|             |       |               |            |                 |                       |
|             |       |               |            |                 |                       |
|             |       |               |            |                 |                       |
|             |       |               |            |                 |                       |
|             |       |               |            |                 |                       |
|             |       |               |            |                 |                       |

Remodel: Construction project value \$: Sprinklers:  NFPA 13  NFPA 13 R  Partial system  Fire alarm  Other system Type:

Change of occupancy:  Yes  No From: To:

Posted occupancy:

EMERGENCY SYSTEMS PROVIDED:  Elevator pressurization  Exit and pathway lighting  Stairway pressurization  Smoke removal system  Emergency generator

### 6. ENERGY/MECHANICAL CODE

HVAC mechanical system is NOT included with this application (If mechanical drawings are included with plans, please stamp "for reference only")

HVAC mechanical system IS included with this application Mechanical System Values:

GENERAL PROJECT INFORMATION

SCOPE OF CONSTRUCTION:  New construction  Addition  Alteration  Substantial alteration (SBC CH 34)

APPLICABLE OCCUPANCY:  Single-family/duplex/townhouse  Multi-family 1-3 stories  Multi-family 4+ stories  Non-residential

| BUILDING ENVELOPE COMPLIANCE                           | HEATED                   | SEMI-HEATED              | UNHEATED                 |
|--|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> Existing Envelope - no change | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> Existing Envelope - altered   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> New Envelope                  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

SCOPE OF MECHANICAL WORK:

LOCATION OF DUCTWORK OR MECHANICAL EQUIPMENT:  Interior  Exterior ground mounted  Rooftop  Exterior wall mounted

MECHANICAL-ONLY PERMIT Related building permit project #:

COMMERCIAL BUILDINGS (Non-residential, R1 lodging, and Multi-family four stories and greater)

COMPLIANCE PATH:  Prescriptive  Component Performance UA/SHGCAVTA  Total building performance (TBP)  Target performance path (TPP)

SEC C402.1 SEC C402.1.3 SEC C407 SEC C402.1.5

OTHER MECHANICAL EQUIPMENT INCLUDED IN THIS APPLICATION:  Commercial kitchen hood exhaust system  Fume hood  Spray paint booth  Other Specify:

RESIDENTIAL BUILDINGS (Single family, duplex, townhouse, and multi-family 3 stories or less)

COMPLIANCE PATH:  Prescriptive  Total UA alternative  Simulated performance alternative

Heating Equipment: Minimum Size: Maximum Size: Energy Credit (Table R406.2) Option:

DOCUMENTS INCLUDED:  Residential equipment sizing calc (unit by unit)  Non-residential cooling and heating load (for other than Group R)  Target UA/SHGCAVTA Calculation  Structural load calculation (for mechanical equipment)  Commercial kitchen hood worksheet  TBP or TPP Report  Noise compliance report (for mechanical equipment)  Other:

### 7. PRIORITY GREEN

(www.seattle.gov/sdci/prioritygreen)

Prior approval to participate in Priority Green is required. The following does not establish Priority Green status.

PRIORITY GREEN EXPEDITED Screening required prior to building permit intake appointment.

Rating anticipated: Built Green  4 star  5 star LEED  Gold  Platinum Seattle DCI Alternative Path for Single Family  Using 3.5 credits for SEC Table 9-1

PRIORITY GREEN FACILITATED Screening required prior to building permit or MUP intake appointment.

Rating anticipated:  Priority Green Building Matrix - 10 points  Living Building Challenge  Built Green 5 Star + 2030 Challenge  LEED Platinum + 2030 Challenge  Other:  Target Performance Path Compliance Method

### 8. LAND USE CONDITIONS (Seattle DCI staff use only)

Assigned planner: Phone:

NEW CURB CUT REQUIRED:  Yes  No  Residential  Commercial

### 9. SPECIAL INSPECTIONS (Seattle DCI staff use only)

### 10. DRAINAGE & SEWER REVIEW (Seattle DCI staff use only)

SEATTLE DCI SEWER AND DRAINAGE REVIEW DESK: (206) 684-5362 or sidesewerinfo@seattle.gov

DRAINAGE REVIEW REQUIRED?  Yes  No

Flow control required

Impervious surface this project (new or replaced) in sq. ft.:

NOTE: The drainage system shown in these plans may be changed at the time of side sewer permit issuance to meet standard plans and methods.

SIDE SEWER REVIEW REQUIRED?  Yes  No

No conflict with side sewer

Construction conflicts with applicant's side sewer. Contact Public Health Department at (206) 233-7914

Construction conflicts with side sewer serving another property. Contact Seattle DCI Sewer and Drainage Review Desk at (206) 684-5362

Reviewed by: Date:

NOTE: A separate side sewer permit is required from Seattle DCI for ALL new drainage and sewer installations. For more information, call the Sewer and Drainage Review Desk at (206) 684-5362 or sidesewerinfo@seattle.gov.

### 11. ENVIRONMENTALLY CRITICAL AREAS INFO (Seattle DCI staff use only)

ENVIRONMENTALLY CRITICAL AREAS (ECA)

Site is not located in ECA

Mapped ECA designation  1  2  3  4  5  6  7  8  9  10  11

ECA identified by pre-application site visit report as:

ECA exemption (see review details in Hansen)

Reviewed by: Date:

Denied  Granted Type:

Small project waiver

New development coverage this permit (sq. ft.):

Previous development coverage (after 10/31/92) Permit # Sq. ft. Total

### 12. SHOP DRAWINGS, KEY AREA INSPECTION & BUILDING CONDITIONS (Seattle DCI staff use only)

Sprinkler drawings required for:  NFPA 13  NFPA 13 R  Partial system Location:  Fire alarm

Required shop drawings/ key area inspections:

### 13. PERMIT ISSUANCE AUTHORIZATION (Seattle DCI staff use only)

| REVIEW LOCATION                    | APPROVAL INITIALS | DATE | NOTES |
|------------------------------------|-------------------|------|-------|
| ZONING (incl. street improvements) |                   |      |       |
| CURB CUT                           |                   |      |       |
| ORDINANCE                          |                   |      |       |
| STRUCTURAL                         |                   |      |       |
| ENERGY                             |                   |      |       |
| MECHANICAL                         |                   |      |       |
| DRAINAGE                           |                   |      |       |
| ECA                                |                   |      |       |
| GRADING                            |                   |      |       |
| WATER (SPU)                        |                   |      |       |
| FIRE                               |                   |      |       |
| HEALTH (King County)               |                   |      |       |
| NOISE                              |                   |      |       |
| CONVEYANCE/ELEVATOR                |                   |      |       |
| SHORING (SDOT)                     |                   |      |       |
| STREET IMPROVEMENT (SDOT)          |                   |      |       |
| PARKS                              |                   |      |       |
| PROTECTED DISTRICTS (DON)          |                   |      |       |
| SEPA EXEMPTION                     |                   |      |       |
| LAND USE                           |                   |      |       |

### 14. DEPARTMENT SIGN OFFS (Seattle DCI staff use only)

ISSUED BY: DATE:

BUILDING PLANS EXAMINER MECHANICAL PLANS EXAMINER DATE RECEIVED AT INTAKE

RECYCLING DEPOT  
 LAND USE PERMIT  
 6004 CORSON AVENUE SOUTH  
 SEATTLE, WASHINGTON 98108

SHEET  
 C0.00





City of Seattle Department of Construction and Inspections (Seattle DCI) PLAN COVERSHEET Updated 01/01/16

INSTRUCTIONS: Complete all areas of sections 1 - 7 that pertain to your project. Please note that sections 8 - 14 are to be completed by Seattle DCI staff. \*Mac users fill out this form with Acrobat not Reader

1. APPLICANT INFORMATION. PROJECT ADDRESS: 6004 Corson Avenue South, Seattle, Washington 98108. PROJECT #: 1049139. OWNER: James and Karen Leigh Nutter. ADDRESS: 219 Polpu Drive, Honolulu, Hawaii 96825.

2. LAND USE CODE INFORMATION. ZONE: IG2 U85. ASSESSOR'S PARCEL NO.: 692070-0060. DESIGN REVIEW?: Yes [X] No [ ]. OVERLAY ZONING: [ ]. HISTORIC OR LANDMARK DISTRICT: No.

3. HOUSING UNIT OCCUPANCY. DEFINITION: Housing unit means any dwelling unit, housekeeping unit, guest room, dormitory, or single room occupancy unit, and may include a residential unit in a commercial building, an artist's studio dwelling unit, or a live/work unit.

4. GROUND DISTURBANCE. GROUND DISTURBANCE: Yes [X] No [ ]. Excavation - cubic yards: 50. Maximum height: 0.5'. DISPOSAL SITE: Outside City of Seattle [X].

CUSTOMER ALERT! Site inspection Required Prior to First Ground Disturbance - Call (206) 684-8900. A Seattle DCI site inspection is required prior to any ground disturbance related to this permit, including clearing, grubbing or grading.

5. BUILDING CODE INFORMATION. MULTIPLE BUILDINGS IN THIS PROJECT? Yes [ ] No [X]. CODE USED FOR DESIGN (select one): 2012 Seattle Building Code [ ], 2012 Seattle Residential Code [ ], 2012 SBC (struct) and 2012 SRC (arch) [ ].

6. ENERGY/MECHANICAL CODE. HVAC mechanical system is NOT included with this application (if mechanical drawings are included with plans, please stamp "for reference only") [X].

7. PRIORITY GREEN (www.seattle.gov/dci/prioritygreen). PRIORITY GREEN EXPEDITED Screening required prior to building permit intake appointment. PRIORITY GREEN FACILITATED Screening required prior to building permit or MUP intake appointment.

8. LAND USE CONDITIONS (Seattle DCI staff use only). Assigned planner: [ ]. Phone: [ ]. NEW CURB CUT REQUIRED: Yes [ ] No [ ].

9. SPECIAL INSPECTIONS (Seattle DCI staff use only).

10. DRAINAGE & SEWER REVIEW (Seattle DCI staff use only). SEATTLE DCI SEWER AND DRAINAGE REVIEW DESK: (206) 684-5362 or sidesewerinfo@seattle.gov. DRAINAGE REVIEW REQUIRED? Yes [ ] No [ ].

11. ENVIRONMENTALLY CRITICAL AREAS INFO (Seattle DCI staff use only). ENVIRONMENTALLY CRITICAL AREAS (ECA). Site is not located in ECA [ ].

12. SHOP DRAWINGS, KEY AREA INSPECTION & BUILDING CONDITIONS (Seattle DCI staff use only). Sprinkler drawings required for: NFPA 13 [ ], NFPA 13 R [ ], Partial system [ ].

13. PERMIT ISSUANCE AUTHORIZATION (Seattle DCI staff use only). Table with columns: REVIEW LOCATION, APPROVAL INITIALS, DATE, NOTES. Rows include ZONING, CURB CUT, ORDINANCE, STRUCTURAL, ENERGY, MECHANICAL, DRAINAGE, ECA, GRADING, WATER (SPU), FIRE, HEALTH (King County), NOISE, CONVEYANCE/ELEVATOR, SHORING (SDOT), STREET IMPROVEMENT (SDOT), PARKS, PROTECTED DISTRICTS (DON), SEPA EXEMPTION, LAND USE.

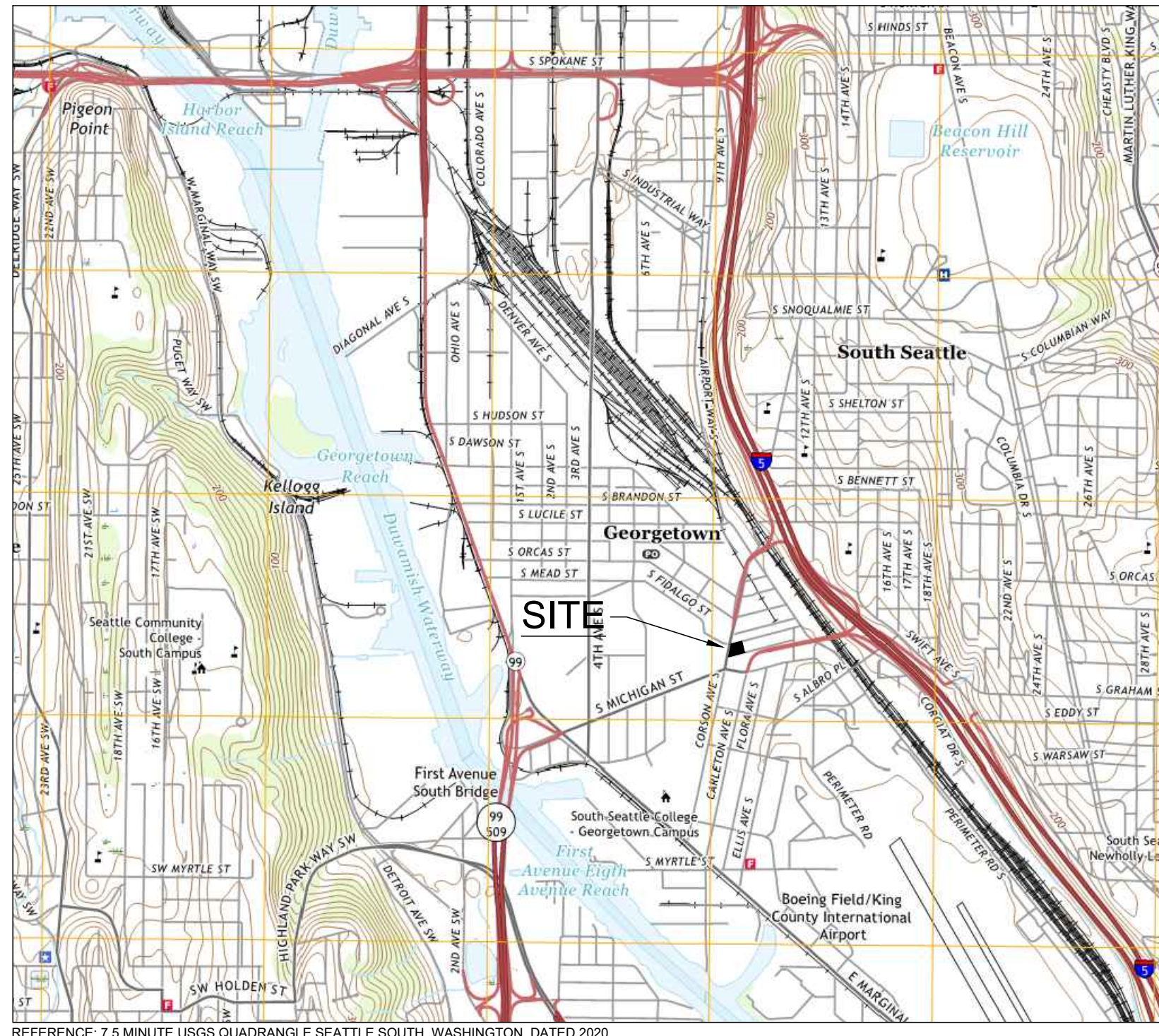
14. DEPARTMENT SIGN OFFS (Seattle DCI staff use only). ISSUED BY: [ ]. DATE: [ ]. BUILDING PLANS EXAMINER, MECHANICAL PLANS EXAMINER, DATE RECEIVED AT INTAKE.

RECYCLING DEPOT LAND USE PERMIT 6004 CORSON AVENUE SOUTH SEATTLE, WASHINGTON 98108



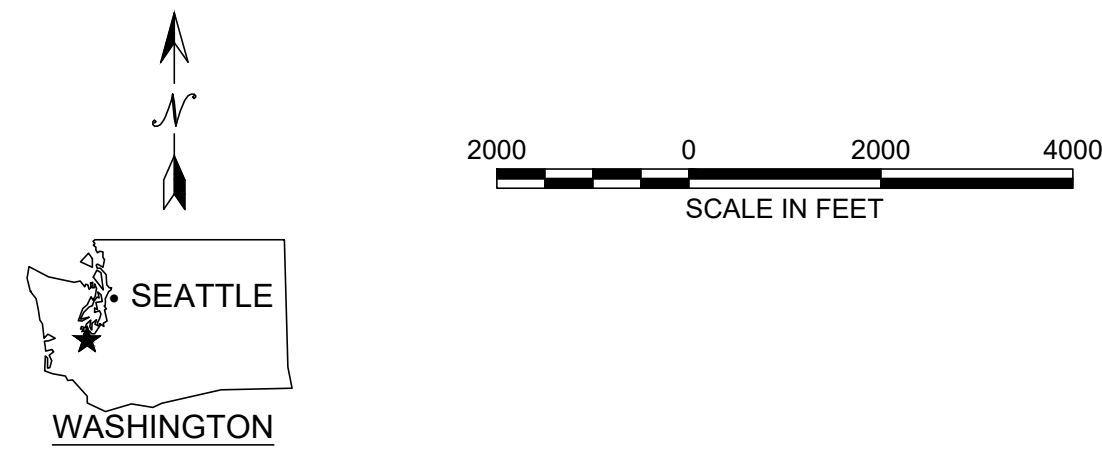
# RECYCLING DEPOT SEATTLE, WASHINGTON

## SITE VICINITY MAP



SITE LOCATION:  
6004 CORSON AVENUE SOUTH  
SEATTLE, WASHINGTON 98108

APN: 6920700060



## DIRECTORY

APPLICANT:  
RECYCLING DEPOT  
6004 CORSON AVENUE SOUTH  
SEATTLE, WASHINGTON 98108

CONTACT: CATHERINE ADAMS  
TEL: (206) 940-0757  
EMAIL: CATHERINE@ISLANDRECYCLING.COM

CIVIL ENGINEER:  
FARALLON CONSULTING, L.L.C.  
975 5TH AVENUE NORTHWEST  
ISSAQUAH, WASHINGTON 98027

CONTACT: CHRISTOPHER P. KOVAC, P.E.  
TEL: (425) 394-4419  
EMAIL: CKOVAC@FARALLONCONSULTING.COM

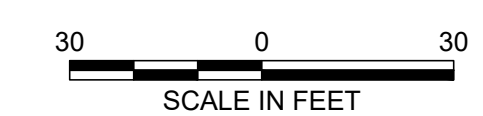
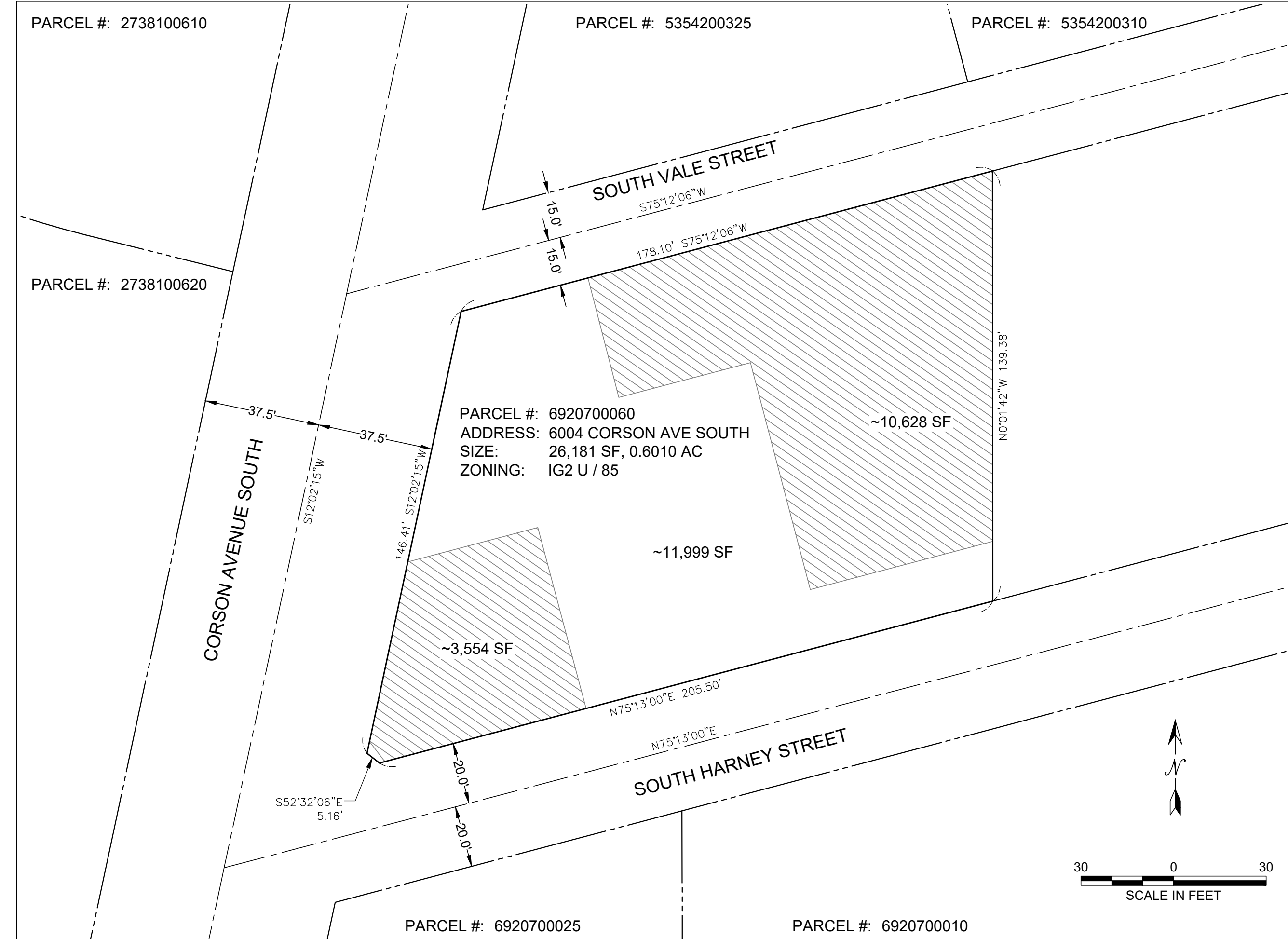
OWNER:  
A SUNNY PLACE, LLC  
219 POIPIU DRIVE  
HONOLULU, HAWAII 96825

CONTACT: JAMES NUTTER  
TEL: (808) 216-9777  
EMAIL: JIM@ISLANDRECYCLING.COM

ENVIRONMENTAL CONSULTANT:  
RFARALLON CONSULTING, L.L.C.  
1809 7TH AVENUE, SUITE 1111  
SEATTLE, WASHINGTON 98101

CONTACT: SUZANNE E. STUMPF, P.E.  
TEL: (425) 394-4442  
EMAIL: SSTUMPF@FARALLONCONSULTING.COM

## PROJECT ZONING DATA



### PARCEL LEGAL DESCRIPTION:

LOTS 1 THROUGH 8 INCLUSIVE, BLOCK 2, PUBLIC BENEFIT SUBDIVISION TRACT 17, CITY OF GEORGETOWN, ACCORDING TO THE PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 34, IN KING COUNTY, WASHINGTON;

EXCEPT THE WEST 15 FEET OF LOTS 4 THROUGH 8 FOR STREET;

TOGETHER WITH THE VACATED ALLEY ADJACENT;

EXCEPT THAT PORTION CONVEYED TO THE CITY OF SEATTLE FOR STREET PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 20170523000367;

SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON.

## DRAWING INDEX

| SHEET # | SHEET NAME                                    |
|---------|---|
| C0.00   | SDCI PLAN COVERSHEET                          |
| C0.10   | PROJECT COVER SHEET                           |
| C1.00   | EXISTING CONDITIONS PLAN                      |
| C2.00   | CONSTRUCTION STORMWATER CONTROL (CSC) PLAN    |
| C2.21   | CSC DETAILS AND OSSM SUMMARY                  |
| C3.00   | SITE PLAN PLAN                                |
| C4.00   | DRAINAGE AND WASTEWATER CONTROL (DWC)         |
| C4.21   | DWC DETAILS AND ON-SITE STORMWATER CALCULATOR |

DRAWING INDEX NOTES:  
1. DRAWING SHEETS LISTED ABOVE IN BLACK PRINT ARE INCLUDED WITH THIS SUBMITTAL SET.  
2. DRAWING SHEETS LISTED ABOVE IN GRAY PRINT ARE NOT INCLUDED, BUT ARE ANTICIPATED TO BE INCLUDED WITH A FINAL PERMIT SUBMITTAL.

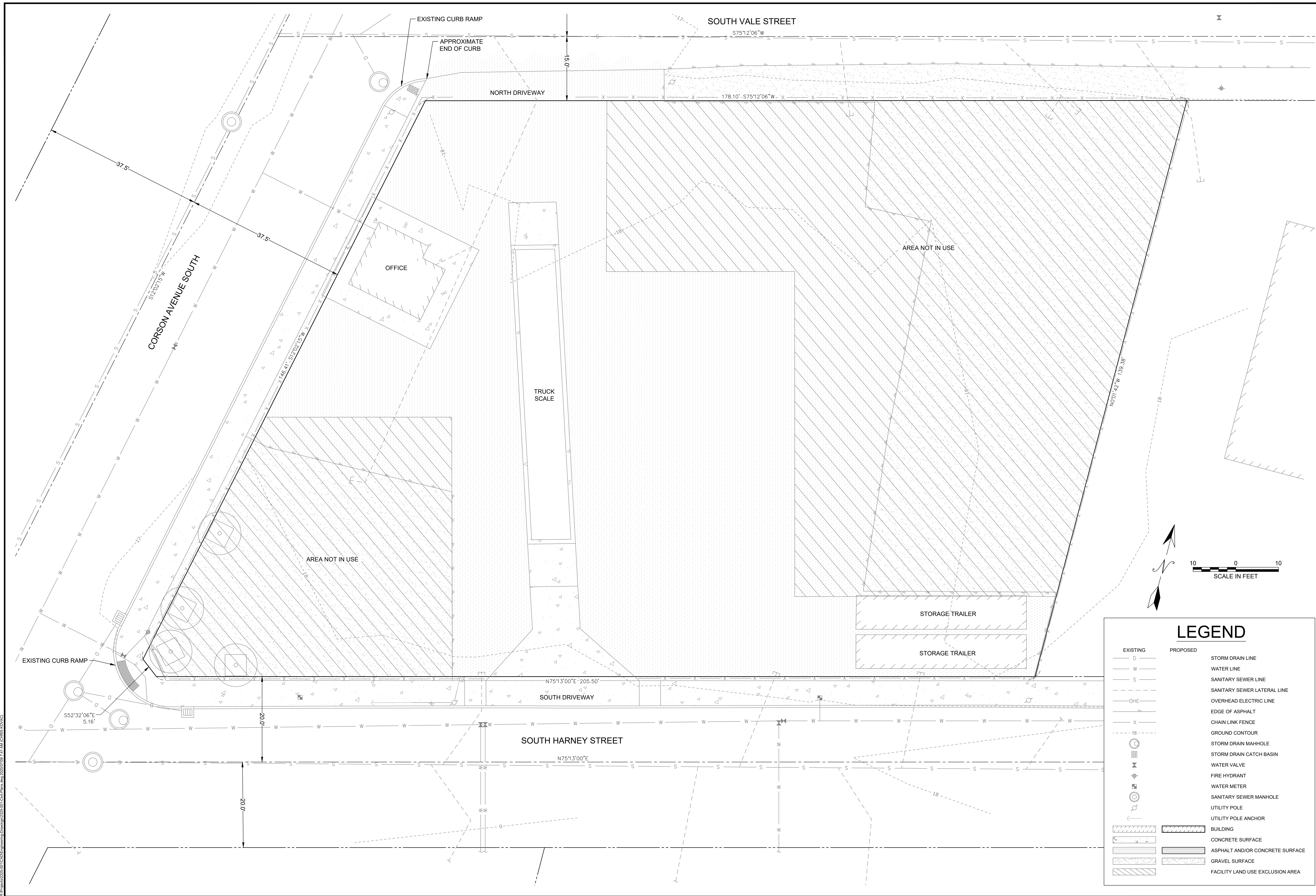
## LEGEND

| EXISTING | PROPOSED |                                  |
|----------|----------|----------------------------------|
| D        |          | STORM DRAIN LINE                 |
| W        |          | WATER LINE                       |
| S        |          | SANITARY SEWER LINE              |
| OH-E     |          | SANITARY SEWER LATERAL LINE      |
|          |          | OVERHEAD ELECTRIC LINE           |
| X        |          | EDGE OF ASPHALT                  |
| 18       |          | CHAIN LINK FENCE                 |
|          |          | GROUND CONTOUR                   |
|          |          | STORM DRAIN MAHOLE               |
|          |          | STORM DRAIN CATCH BASIN          |
|          |          | WATER VALVE                      |
|          |          | FIRE HYDRANT                     |
|          |          | WATER METER                      |
|          |          | SANITARY SEWER MANHOLE           |
|          |          | UTILITY POLE                     |
|          |          | UTILITY POLE ANCHOR              |
|          |          | BUILDING                         |
|          |          | CONCRETE SURFACE                 |
|          |          | ASPHALT AND/OR CONCRETE SURFACE  |
|          |          | GRAVEL SURFACE                   |
|          |          | FACILITY LAND USE EXCLUSION AREA |

|   |            |  |     |      |     |
|---|------------|--|-----|------|-----|
| DATE  | 07/01/2020 | LAND USE PERMIT PREAPPLICATION SUBMITTAL | JMM | CPK  | CPK |
| REVISION DESCRIPTION  |            |  | BY  | CHKD | APP |
|   |            |  |     |      |     |
| PREPARED BY:<br>FARALLON CONSULTING<br>975 5TH AVENUE NORTHWEST<br>ISSAQUAH, WASHINGTON 98027<br>(425) 295-0800<br>farallonconsulting.com |            |  |     |      |     |
| PREPARED FOR:<br>RECYCLING DEPOT<br>6004 CORSON AVENUE SOUTH<br>SEATTLE, WASHINGTON 98108<br>ASSESSORS PARCEL NO.: 6920700060             |            |  |     |      |     |
|   |            |  |     |      |     |
| PROJECT COVER AND ZONING DATA SHEET   |            |  |     |      |     |
| PROJECT LOCATION (S.T.R.):<br>PORTIONS OF THE SW 1/4<br>OF THE SE 1/4 OF<br>SEC. 20, TWP. 24N, RNG. 04E, W.M.                             |            |  |     |      |     |
| JURISDICTION FILE NO.:<br>###   |            |  |     |      |     |
| FARALLON PROJECT NO.:<br>2325-001   |            |  |     |      |     |
| SHEET<br>C0.10  |            |  |     |      |     |

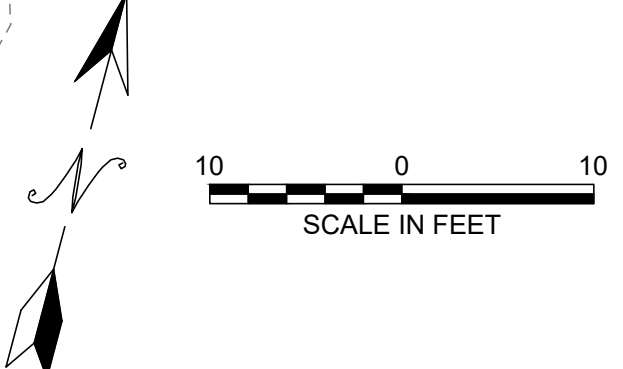
R:\P\6920700060\CD\CD\Engineering\Drawings\2325-001-C0.10-Final.dwg 2020/07/01 7:41 AM (CRIBER-KOVAC)





### LEGEND

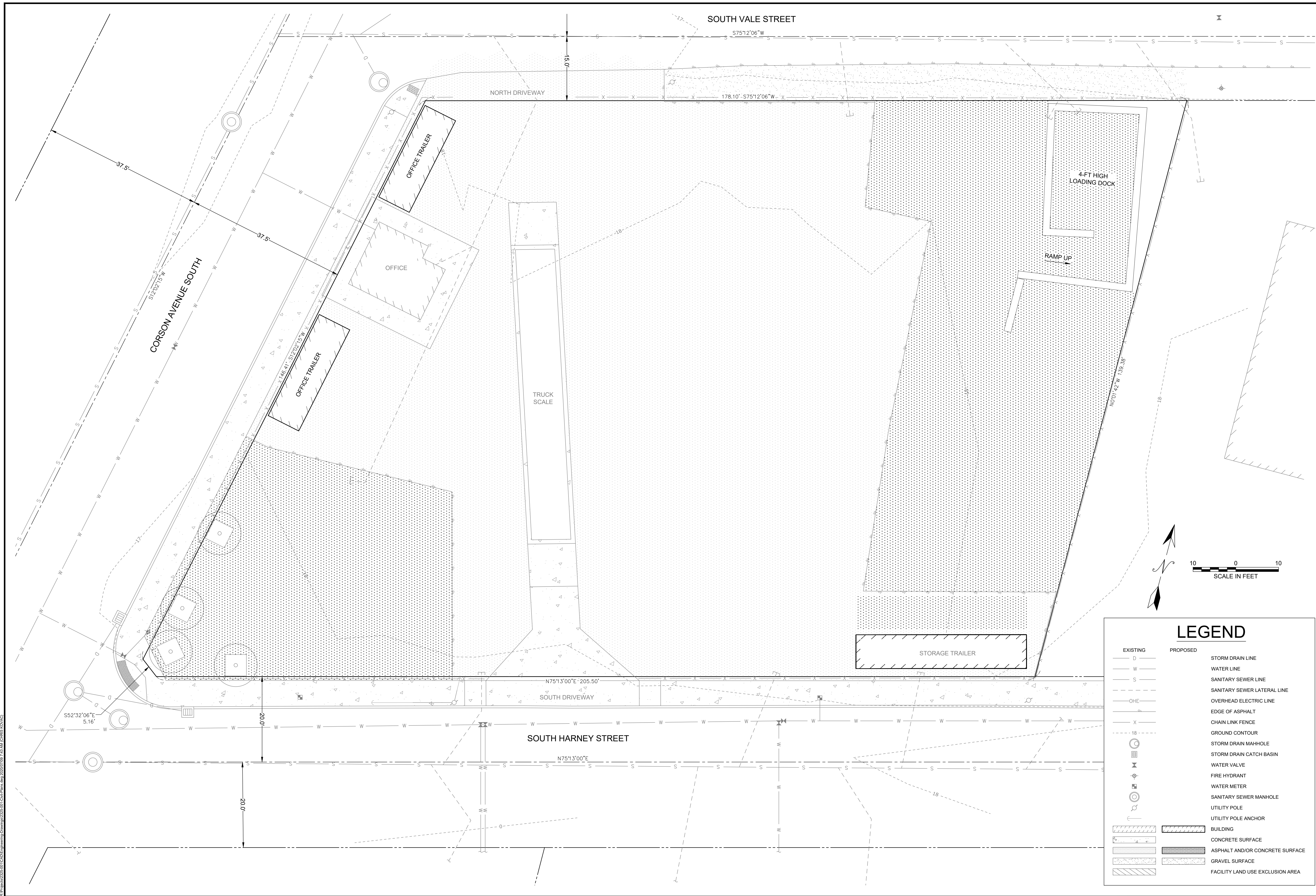
| EXISTING | PROPOSED |                                  |
|----------|----------|----------------------------------|
| D        | —        | STORM DRAIN LINE                 |
| W        | —        | WATER LINE                       |
| S        | —        | SANITARY SEWER LINE              |
| OHE      | —        | SANITARY SEWER LATERAL LINE      |
| X        | —        | OVERHEAD ELECTRIC LINE           |
| 18       | —        | EDGE OF ASPHALT                  |
| 18       | —        | CHAIN LINK FENCE                 |
| 18       | —        | GROUND CONTOUR                   |
| 18       | —        | STORM DRAIN MAH-HOLE             |
| 18       | —        | STORM DRAIN CATCH BASIN          |
| 18       | —        | WATER VALVE                      |
| 18       | —        | FIRE HYDRANT                     |
| 18       | —        | WATER METER                      |
| 18       | —        | SANITARY SEWER MANHOLE           |
| 18       | —        | UTILITY POLE                     |
| 18       | —        | UTILITY POLE ANCHOR              |
| 18       | —        | BUILDING                         |
| 18       | —        | CONCRETE SURFACE                 |
| 18       | —        | ASPHALT AND/OR CONCRETE SURFACE  |
| 18       | —        | GRAVEL SURFACE                   |
| 18       | —        | FACILITY LAND USE EXCLUSION AREA |



|  |   |      |                      |            |  |    |     |  |     |  |     |
|--|---|------|----------------------|------------|--|----|-----|--|-----|--|-----|
|  | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DATE</td> <td style="width: 50%;">REVISION DESCRIPTION</td> </tr> <tr> <td>07/01/2020</td> <td>LAND USE PERMIT PREAPPLICATION SUBMITTAL</td> </tr> <tr> <td>BY</td> <td>CHK</td> </tr> <tr> <td></td> <td>CPK</td> </tr> <tr> <td></td> <td>APP</td> </tr> </table> | DATE | REVISION DESCRIPTION | 07/01/2020 | LAND USE PERMIT PREAPPLICATION SUBMITTAL | BY | CHK |  | CPK |  | APP |
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| 07/01/2020   | LAND USE PERMIT PREAPPLICATION SUBMITTAL  |      |                      |            |  |    |     |  |     |  |     |
| BY   | CHK   |      |                      |            |  |    |     |  |     |  |     |
|  | CPK   |      |                      |            |  |    |     |  |     |  |     |
|  | APP   |      |                      |            |  |    |     |  |     |  |     |
| <p>PREPARED BY:<br/><b>FARALLON CONSULTING</b><br/>676 5th Avenue Northwest<br/>Issaquah, Washington 98027<br/>(425) 295-0800<br/>farallonconsulting.com</p> |   |      |                      |            |  |    |     |  |     |  |     |
| <p>PREPARED FOR:<br/><b>The Recycling Depot</b><br/>RECYCLING DEPOT<br/>6804 CORSON AVENUE SOUTH<br/>SEATTLE, WASHINGTON 98168</p>                           |   |      |                      |            |  |    |     |  |     |  |     |
| <p>EXISTING CONDITIONS</p> <p>6004 CORSON AVENUE SOUTH<br/>SEATTLE, WASHINGTON 98168<br/>ASSESSORS PARCEL NO.: 892708860</p>                                 |   |      |                      |            |  |    |     |  |     |  |     |
| <p>PROJECT LOCATION (S.T.R.):<br/>PORTIONS OF THE SW 1/4<br/>OF THE SE 1/4 OF<br/>SEC. 20, TWP. 24N, RNG. 04E, W.M.</p>                                      |   |      |                      |            |  |    |     |  |     |  |     |
| <p>JURISDICTION FILE NO.:<br/>###</p> <p>FARALLON PROJECT NO.:<br/>2325-001</p> <p>SHEET</p>   |   |      |                      |            |  |    |     |  |     |  |     |
| <p><b>C1.00</b></p>  |   |      |                      |            |  |    |     |  |     |  |     |

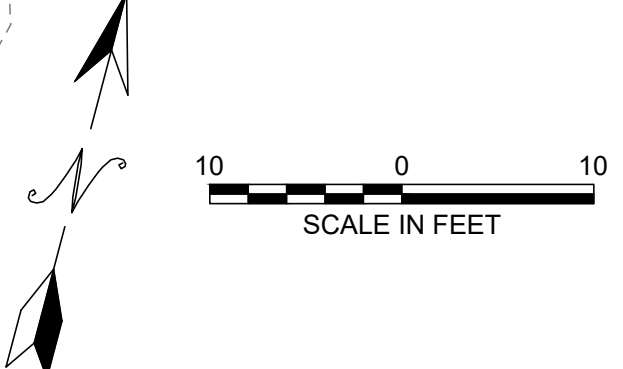
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### LEGEND

| EXISTING | PROPOSED |                                  |
|----------|----------|----------------------------------|
| D        | —        | STORM DRAIN LINE                 |
| W        | —        | WATER LINE                       |
| S        | —        | SANITARY SEWER LINE              |
| OHE      | —        | SANITARY SEWER LATERAL LINE      |
| X        | —        | OVERHEAD ELECTRIC LINE           |
| —        | —        | EDGE OF ASPHALT                  |
| —        | —        | CHAIN LINK FENCE                 |
| —        | —        | GROUND CONTOUR                   |
| —        | —        | STORM DRAIN MAH-HOLE             |
| —        | —        | STORM DRAIN CATCH BASIN          |
| —        | —        | WATER VALVE                      |
| —        | —        | FIRE HYDRANT                     |
| —        | —        | WATER METER                      |
| —        | —        | SANITARY SEWER MANHOLE           |
| —        | —        | UTILITY POLE                     |
| —        | —        | UTILITY POLE ANCHOR              |
| —        | —        | BUILDING                         |
| —        | —        | CONCRETE SURFACE                 |
| —        | —        | ASPHALT AND/OR CONCRETE SURFACE  |
| —        | —        | GRAVEL SURFACE                   |
| —        | —        | FACILITY LAND USE EXCLUSION AREA |



|  |   |      |                      |            |  |    |     |  |     |  |     |
|--|---|------|----------------------|------------|--|----|-----|--|-----|--|-----|
|  | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DATE</td> <td style="width: 50%;">REVISION DESCRIPTION</td> </tr> <tr> <td>07/01/2020</td> <td>LAND USE PERMIT PREAPPLICATION SUBMITTAL</td> </tr> <tr> <td>BY</td> <td>CHK</td> </tr> <tr> <td></td> <td>CPK</td> </tr> <tr> <td></td> <td>APP</td> </tr> </table> | DATE | REVISION DESCRIPTION | 07/01/2020 | LAND USE PERMIT PREAPPLICATION SUBMITTAL | BY | CHK |  | CPK |  | APP |
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| 07/01/2020   | LAND USE PERMIT PREAPPLICATION SUBMITTAL  |      |                      |            |  |    |     |  |     |  |     |
| BY   | CHK   |      |                      |            |  |    |     |  |     |  |     |
|  | CPK   |      |                      |            |  |    |     |  |     |  |     |
|  | APP   |      |                      |            |  |    |     |  |     |  |     |
| <p>PREPARED BY:<br/><b>FARALLON CONSULTING</b><br/>676 5th Avenue Northwest<br/>Issaquah, Washington 98027<br/>(425) 295-0900<br/>farallonconsulting.com</p> | <p>PREPARED FOR:<br/><b>Recycling Depot</b><br/>RECYCLING DEPOT<br/>6804 CORSON AVENUE SOUTH<br/>SEATTLE, WASHINGTON 98106</p>  |      |                      |            |  |    |     |  |     |  |     |
| <p><b>SITE PLAN</b></p> <p>6004 CORSON AVENUE SOUTH<br/>SEATTLE, WASHINGTON 98106<br/>ASSESSOR'S PARCEL NO.: 8920700860</p>                                  |   |      |                      |            |  |    |     |  |     |  |     |
| <p>PROJECT LOCATION (S.T.R.):<br/>PORTIONS OF THE SW 1/4<br/>OF THE SE 1/4 OF<br/>SEC. 20, TWP. 24N, RNG. 04E, W.M.</p>                                      |   |      |                      |            |  |    |     |  |     |  |     |
| <p>JURISDICTION FILE NO.:<br/>###</p> <p>FARALLON PROJECT NO.:<br/>2325-001</p> <p>SHEET</p>   |   |      |                      |            |  |    |     |  |     |  |     |
| <p><b>C3.00</b></p>  |   |      |                      |            |  |    |     |  |     |  |     |

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**ATTACHMENT C  
ENGINEERING DRAWINGS**

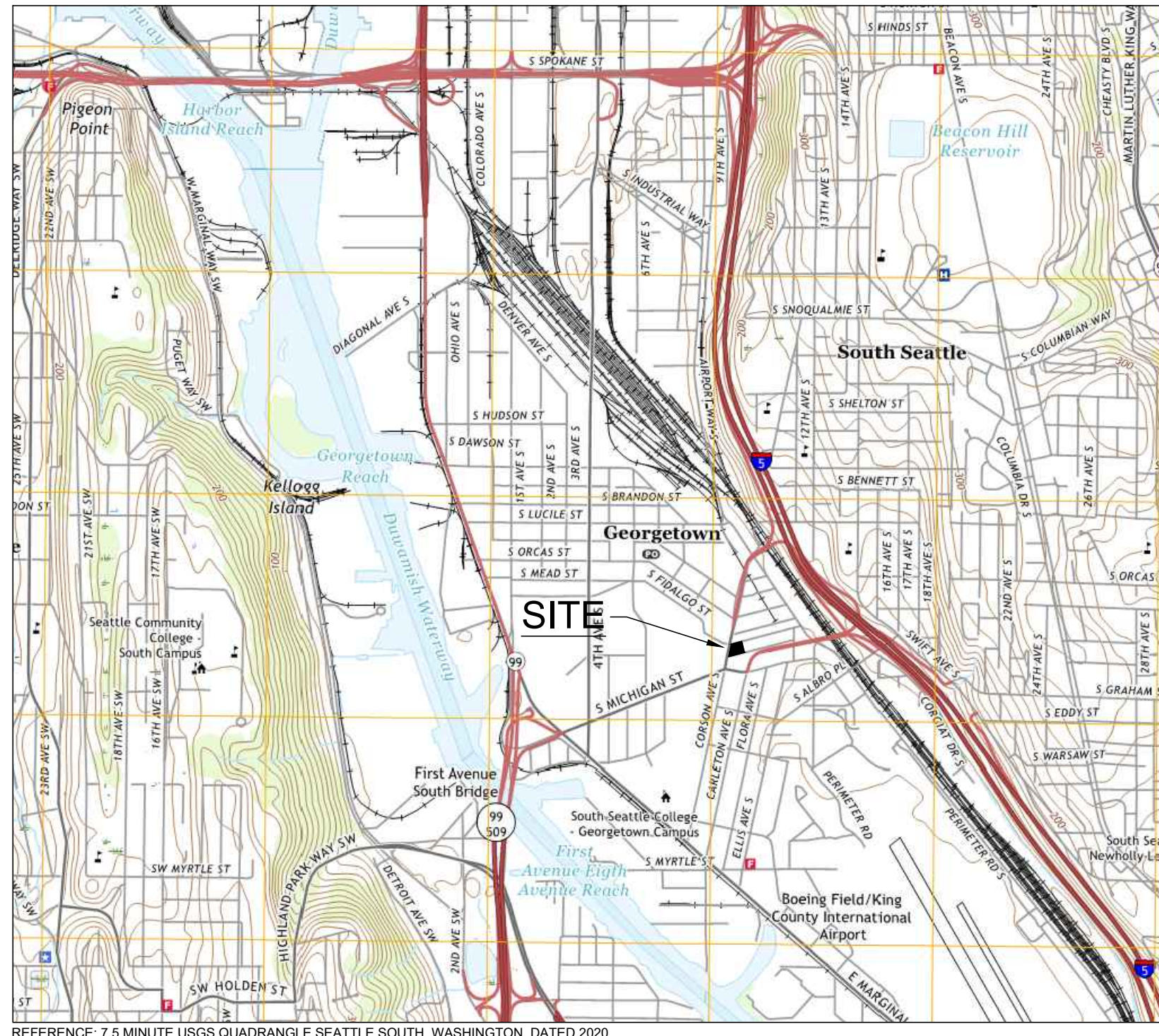
SOLID WASTE PERMIT APPLICATION  
The Recycling Depot  
6004 Corson Avenue South  
Seattle, Washington

Farallon PN: 2325-001



# RECYCLING DEPOT SEATTLE, WASHINGTON

## SITE VICINITY MAP



SITE LOCATION:  
6004 CORSON AVENUE SOUTH  
SEATTLE, WASHINGTON 98108

APN: 6920700060



## DIRECTORY

**APPLICANT:**  
RECYCLING DEPOT  
6004 CORSON AVENUE SOUTH  
SEATTLE, WASHINGTON 98108

**CONTACT:** CATHERINE ADAMS  
TEL: (206) 940-0757  
EMAIL: CATHERINE@ISLANDRECYCLING.COM

**CIVIL ENGINEER:**  
FARALLON CONSULTING, L.L.C.  
975 5TH AVENUE NORTHWEST  
ISSAQUAH, WASHINGTON 98027

**CONTACT:** CHRISTOPHER P. KOVAC, P.E.  
TEL: (425) 394-4419  
EMAIL: CKOVAC@FARALLONCONSULTING.COM

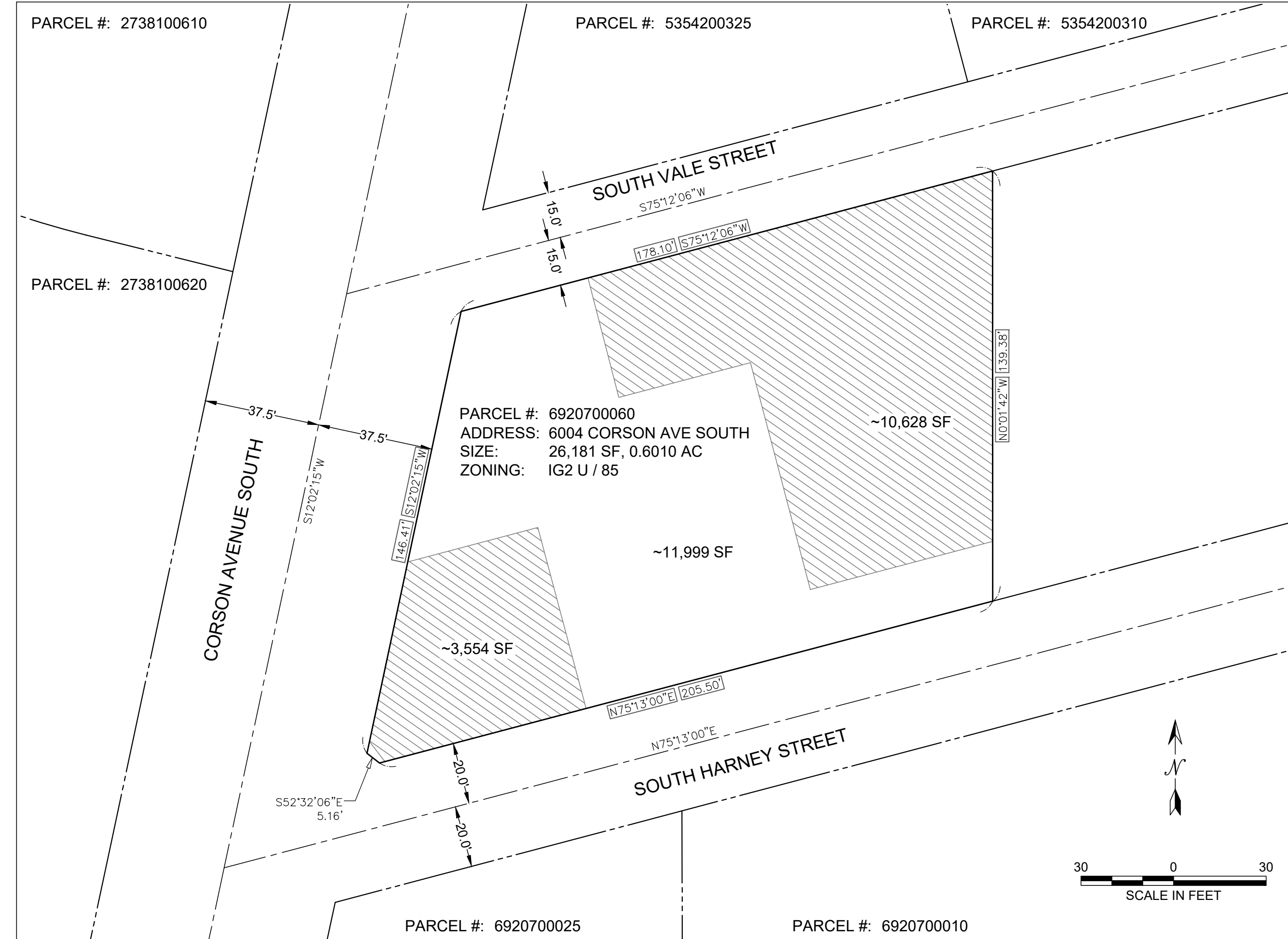
**OWNER:**  
A SUNNY PLACE, LLC  
219 POIPIU DRIVE  
HONOLULU, HAWAII 96825

**CONTACT:** JAMES NUTTER  
TEL: (808) 216-9777  
EMAIL: JIM@ISLANDRECYCLING.COM

**ENVIRONMENTAL CONSULTANT:**  
FARALLON CONSULTING, L.L.C.  
1809 7TH AVENUE, SUITE 1111  
SEATTLE, WASHINGTON 98101

**CONTACT:** SUZANNE E. STUMPF, P.E.  
TEL: (425) 394-4442  
EMAIL: SSTUMPF@FARALLONCONSULTING.COM

## PROJECT ZONING DATA



### PARCEL LEGAL DESCRIPTION:

LOTS 1 THROUGH 8 INCLUSIVE, BLOCK 2, PUBLIC BENEFIT SUBDIVISION TRACT 17, CITY OF GEORGETOWN, ACCORDING TO THE PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 34, IN KING COUNTY, WASHINGTON;

EXCEPT THE WEST 15 FEET OF LOTS 4 THROUGH 8 FOR STREET;

TOGETHER WITH THE VACATED ALLEY ADJACENT;

EXCEPT THAT PORTION CONVEYED TO THE CITY OF SEATTLE FOR STREET PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 20170523000367;

SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON.

## DRAWING INDEX

| SHEET # | SHEET NAME           |
|---------|----------------------|
| C0.10   | PROJECT COVER SHEET  |
| C3.00   | SITE PLAN            |
| C3.10   | SITE OPERATIONS PLAN |

## LEGEND

| EXISTING | PROPOSED |                                  |
|----------|----------|----------------------------------|
| D        |          | STORM DRAIN LINE                 |
| W        |          | WATER LINE                       |
| S        |          | SANITARY SEWER LINE              |
| OH-E     |          | SANITARY SEWER LATERAL LINE      |
|          |          | OVERHEAD ELECTRIC LINE           |
|          |          | EDGE OF ASPHALT                  |
| X        |          | CHAIN LINK FENCE                 |
|          |          | GROUND CONTOUR                   |
|          |          | STORM DRAIN MAHOLE               |
|          |          | STORM DRAIN CATCH BASIN          |
|          |          | WATER VALVE                      |
|          |          | FIRE HYDRANT                     |
|          |          | WATER METER                      |
|          |          | SANITARY SEWER MANHOLE           |
|          |          | UTILITY POLE                     |
|          |          | UTILITY POLE ANCHOR              |
|          |          | BUILDING                         |
|          |          | CONCRETE SURFACE                 |
|          |          | ASPHALT AND/OR CONCRETE SURFACE  |
|          |          | GRAVEL SURFACE                   |
|          |          | FACILITY LAND USE EXCLUSION AREA |

| DATE       | REVISION DESCRIPTION                     | BY | CHK | APP |
|------------|--|----|-----|-----|
| 07.17.2020 | SOLID WASTE PERMIT APPLICATION SUBMITTAL |    |     |     |

PREPARED BY:  
**FARALLON CONSULTING**  
675 5th Avenue Northwest  
Issaquah, Washington 98027  
(425) 295-0800  
farallonconsulting.com

PREPARED FOR:  
**Recycling Depot**  
RECYCLING DEPOT  
6004 CORSON AVENUE SOUTH  
SEATTLE, WASHINGTON 98108  
ASSESSORS PARCEL NO.: 6920700060

PROJECT COVER AND ZONING  
DATA SHEET  
6004 CORSON AVENUE SOUTH  
SEATTLE, WASHINGTON 98108  
ASSESSORS PARCEL NO.: 6920700060

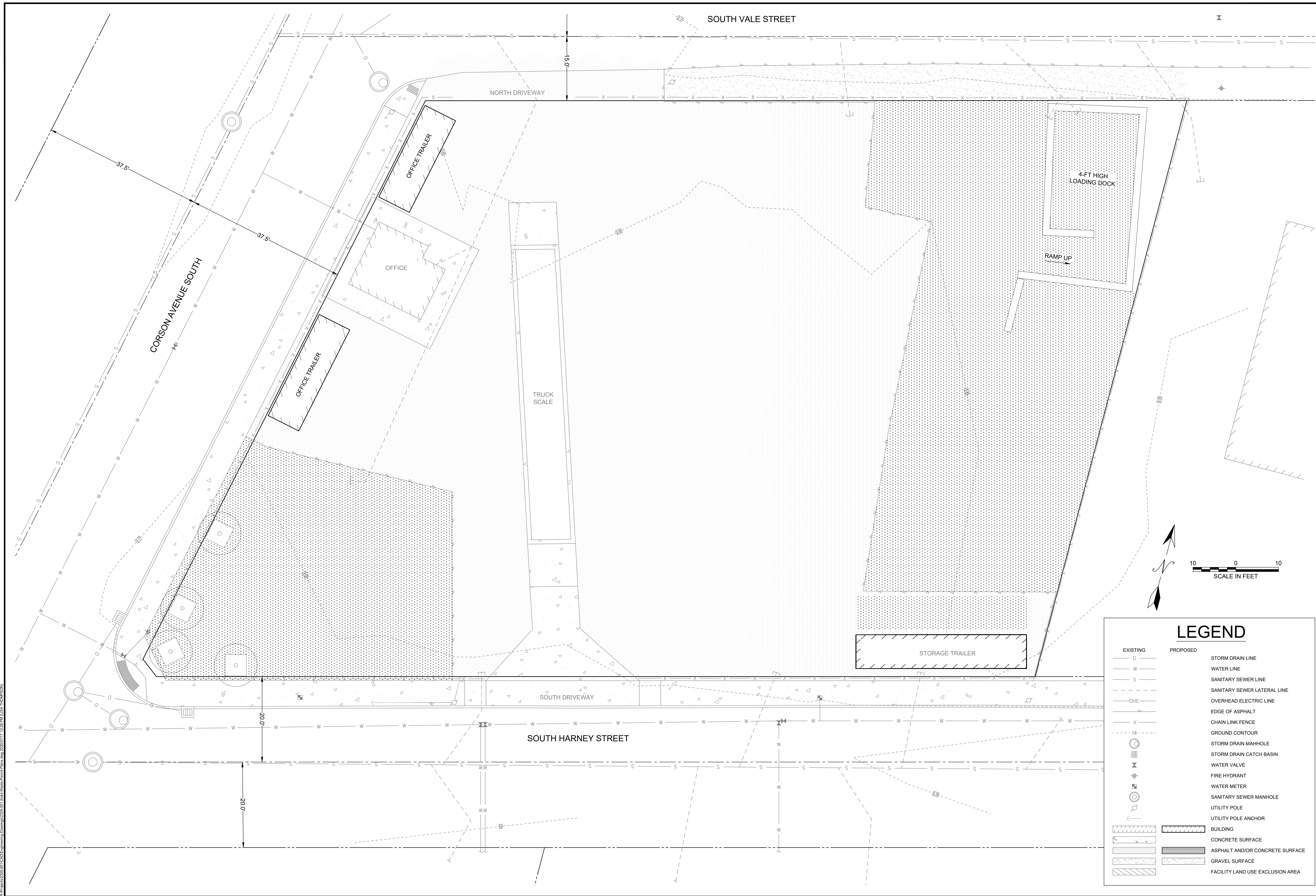
**811**  
Know what's below.  
Call before you dig.

PROJECT LOCATION (S.T.R.):  
PORTIONS OF THE SW 1/4  
OF THE SE 1/4 OF  
SEC. 20, TWP. 24N, RNG. 04E, W.M.  
JURISDICTION FILE NO.:  
###  
FARALLON PROJECT NO.:  
2325-001  
SHEET

C0.10

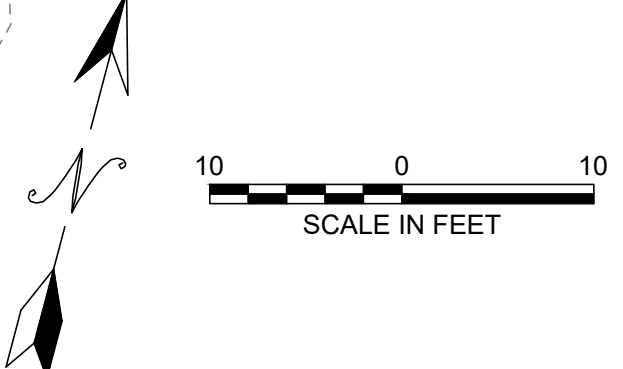
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### LEGEND

| EXISTING                   | PROPOSED |                                  |
|----------------------------|----------|----------------------------------|
| D                          | —        | STORM DRAIN LINE                 |
| W                          | —        | WATER LINE                       |
| S                          | —        | SANITARY SEWER LINE              |
| OHE                        | —        | SANITARY SEWER LATERAL LINE      |
| X                          | —        | OVERHEAD ELECTRIC LINE           |
| 18                         | —        | EDGE OF ASPHALT                  |
| (Circle with dot)          | —        | CHAIN LINK FENCE                 |
| (Dashed line)              | —        | GROUND CONTOUR                   |
| (Circle with X)            | —        | STORM DRAIN MAH-HOLE             |
| (Square with X)            | —        | STORM DRAIN CATCH BASIN          |
| (Circle with cross)        | —        | WATER VALVE                      |
| (Square with cross)        | —        | FIRE HYDRANT                     |
| (Circle with cross)        | —        | WATER METER                      |
| (Circle with cross)        | —        | SANITARY SEWER MANHOLE           |
| (Circle with cross)        | —        | UTILITY POLE                     |
| (Circle with cross)        | —        | UTILITY POLE ANCHOR              |
| (Hatched pattern)          | —        | BUILDING                         |
| (Dotted pattern)           | —        | CONCRETE SURFACE                 |
| (Cross-hatched pattern)    | —        | ASPHALT AND/OR CONCRETE SURFACE  |
| (Stippled pattern)         | —        | GRAVEL SURFACE                   |
| (Diagonal hatched pattern) | —        | FACILITY LAND USE EXCLUSION AREA |



| DATE      | REVISION/DESCRIPTION                     | BY  | CHK | APP |
|-----------|--|-----|-----|-----|
| 07.7.2020 | SOLID WASTE PERMIT APPLICATION SUBMITTAL | LNT | SS  | CPK |

PREPARED BY:  
**FARALLON CONSULTING**  
 676 5th Avenue Northwest  
 Issaquah, Washington 98027  
 (425) 295-0900  
 farallonconsulting.com

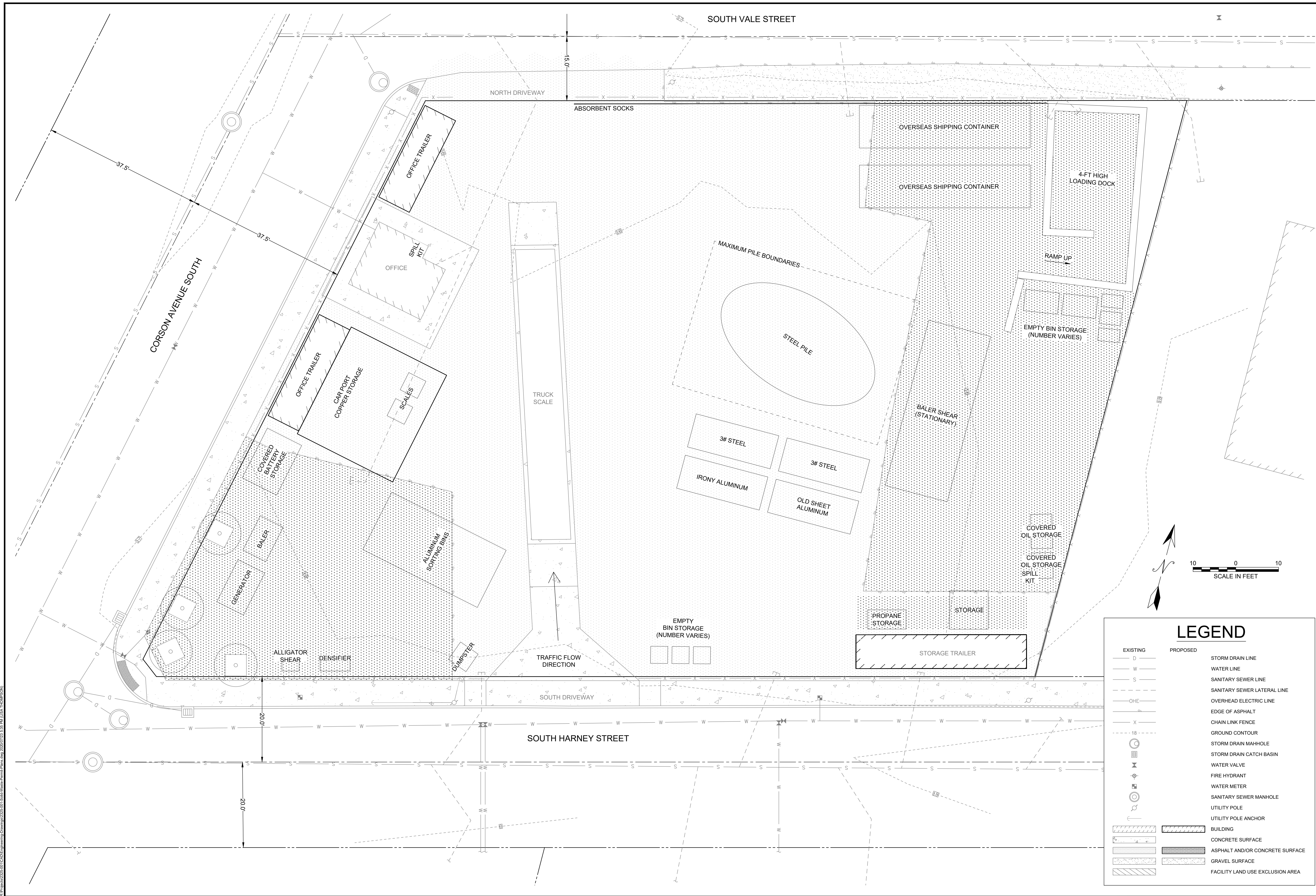
PREPARED FOR:  
**the Recycling Depot**  
 RECYCLING DEPOT  
 6804 CORSON AVENUE SOUTH  
 SEATTLE, WASHINGTON 98106

**SITE PLAN**  
 6004 CORSON AVENUE SOUTH  
 SEATTLE, WASHINGTON 98106  
 ASSESSORS PARCEL NO.: 692700860

**811**  
 Know what's below.  
 Call before you dig.  
 PROJECT LOCATION (S.T.R.):  
 PORTIONS OF THE SW 1/4  
 OF THE SE 1/4 OF  
 SEC. 20, TWP. 24N, RNG. 04E, W.M.  
 JURISDICTION FILE NO.:  
 #####  
 FARALLON PROJECT NO.:  
 2325-001  
 SHEET  
**C3.00**

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### LEGEND

| EXISTING | PROPOSED |                                  |
|----------|----------|----------------------------------|
| D        | ---      | STORM DRAIN LINE                 |
| W        | ---      | WATER LINE                       |
| S        | ---      | SANITARY SEWER LINE              |
| OHE      | ---      | SANITARY SEWER LATERAL LINE      |
| X        | ---      | OVERHEAD ELECTRIC LINE           |
| 18       | ---      | EDGE OF ASPHALT                  |
| ⊙        | ---      | CHAIN LINK FENCE                 |
| ⊙        | ---      | GROUND CONTOUR                   |
| ⊙        | ---      | STORM DRAIN MAH-HOLE             |
| ⊙        | ---      | STORM DRAIN CATCH BASIN          |
| ⊙        | ---      | WATER VALVE                      |
| ⊙        | ---      | FIRE HYDRANT                     |
| ⊙        | ---      | WATER METER                      |
| ⊙        | ---      | SANITARY SEWER MANHOLE           |
| ⊙        | ---      | UTILITY POLE                     |
| ⊙        | ---      | UTILITY POLE ANCHOR              |
| ▭        | ▭        | BUILDING                         |
| ▭        | ▭        | CONCRETE SURFACE                 |
| ▭        | ▭        | ASPHALT AND/OR CONCRETE SURFACE  |
| ▭        | ▭        | GRAVEL SURFACE                   |
| ▭        | ▭        | FACILITY LAND USE EXCLUSION AREA |

| DATE       | REVISION/DESCRIPTION                     | BY  | CHKD. | APP. |
|------------|--|-----|-------|------|
| 07.17.2020 | SOLID WASTE PERMIT APPLICATION SUBMITTAL | LNT | SS    | CPK  |

PREPARED BY:

675 5th Avenue Northwest  
Issaquah, Washington 98027  
(425) 295-0900  
farallonconsulting.com

PREPARED FOR:

RECYCLING DEPOT  
6804 CORSON AVENUE SOUTH  
SEATTLE, WASHINGTON 98108

SITE OPERATIONS PLAN

6004 CORSON AVENUE SOUTH  
SEATTLE, WASHINGTON 98108  
ASSESSORS PARCEL NO.: 692700860

Know what's below.  
Call before you dig.

PROJECT LOCATION (S.T.R.):  
PORTIONS OF THE SW 14  
OF THE SE 14 OF  
SEC. 20, TWP. 24N, RNG. 04E, W.M.

JURISDICTION FILE NO.:  
###

FARALLON PROJECT NO.:  
2325-001

SHEET  
C3.10

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**ATTACHMENT D  
PLAN OF OPERATIONS**

SOLID WASTE PERMIT APPLICATION  
The Recycling Depot  
6004 Corson Avenue South  
Seattle, Washington

Farallon PN: 2325-001

**ATTACHMENT E  
SEPA CHECKLIST**

SOLID WASTE PERMIT APPLICATION

The Recycling Depot  
6004 Corson Avenue South  
Seattle, Washington

Farallon PN: 2325-001

## **SEPA ENVIRONMENTAL CHECKLIST**

### ***Purpose of checklist:***

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

### ***Instructions for applicants:***

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

### ***Instructions for Lead Agencies:***

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

### ***Use of checklist for nonproject proposals:***

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the [SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS \(part D\)](#). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

**A. Background**

1. Name of proposed project, if applicable:

*The Recycling Depot, Inc.*

2. Name of applicant:

*James G. Nutter*

3. Address and phone number of applicant and contact person:

*6004 Corson Avenue South  
Seattle, WA 98108  
206-325-7288*

4. Date checklist prepared:

*May 5, 2020*

5. Agency requesting checklist:

*Seattle Department of Construction and Inspections (SDCI).*

6. Proposed timing or schedule (including phasing, if applicable):

*Operations are already underway on the site. This submittal is intended to complete the permit process to all permanent use of the full site.*

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

*There are no plans for future additions or expansion of the metal recycling use on the site. In the distant future we are planning to get a permit for an increase to our electrical panel.*

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

*EnviorAssess. December 21, 2010. Phase I Environmental Site Assessment, Corson Avenue Property, 6008 Corson Avenue S., Seattle, WA, 98108.*

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

*The Recycling Depot is currently pursuing a Solid Waste Handling permit through the Seattle- King County Public Health Department. Submission of the application is anticipated by late July 2020.*

10. List any government approvals or permits that will be needed for your proposal, if known.

*No other government approvals or permits are anticipated for this proposal.*

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

*The Recycling Depot proposes to expand use to the portion of the property identified as 'not in use' on the previous land use permit application. The previous permit allowed use of up to 12,000 square feet of the site. The proposed use is to allow use of the remainder of the site, which comprises a total of 26,181 square feet. Improvements are to include:*

- a. A raised loading dock for containers*
- b. An exterior open covered area to handle materials to recycle*
- c. A waste enclosure*
- d. A parking area for roll-offs, bins, and service truck*
- e. Grading & stormwater improvements as needed/required*

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

*The subject property is located on Corson Ave S, between South Vale Street & South Harney Street.*

*Legal Description:*

PUBLIC BENEFIT SUBD TR 17 GEOTOWN TGW VAC ALLEY ADJ LESS ST (PER SEATTLE - ROW ACQUISTION QCD REC# 20170713000190)

*See vicinity map (Figure 1) attached to this SEPA Checklist. The site is identified as King County Parcel No. 692070-0060, comprising 26,181 square feet within the Seattle city limits.*

**B. Environmental Elements**

**1. Earth**

a. General description of the site:

(circle one): Flat, rolling, hilly, steep slopes, mountainous, other \_\_\_\_\_

- b. What is the steepest slope on the site (approximate percent slope)?

*The site is generally flat.*

- c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

*The site is nearly entirely paved with cement concrete and blacktop. In the southwest corner there is a landscaped area with trees, flowering plants, and a sitting area for the employees. Based on a review of The Geologic Map of Seattle – a Progress Report, the site soil map unit is identified as Qal – Alluvium. Qal – Alluvium is categorized as a nonglacial deposit and described as silt, sand, gravel, and cobbles deposited by streams and running water. Locally contains very soft peat lenses. Permeability factors are described as predominantly sandy and horizontally bedded, fine- and coarse-grained lenses. The proposal does not include any excavation or fill, except for a very limited amount which may be included with utility connection work.*

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

*No*

- e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

*No fill is proposed. The site has historically been paved with a combination of asphalt, cement concrete, and/or gravel. The proposal does not include any excavation or fill, except for a very limited amount which may be included with utility connection work.*

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

*No earthwork is proposed, except for a very limited amount which may be included with utility connection work. The likelihood of erosion is very low and manageable with standard best management practices.*

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

*Approximately 95% of the site is covered with impervious surfaces.*

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

*Standard erosion and sedimentation control best management practices shall be enacted should any earthwork be required. These practices include such measures as silt fences, stabilized construction entrances and work areas, street and pavement sweeping, inlet protections (filter socks), and limited areas of ground disturbance.*



## 2. Air

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

*With the exception of onsite vehicles and equipment, no emissions are anticipated.*

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

*None.*

- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

*Any work areas that might generate dust, will be watered to limit emissions.*

## 3. Water

- a. Surface Water:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

*None*

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

*No*

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

*No fill or dredge work is proposed. There are not water bodies or wetlands onsite.*

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

*No*

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

*Per FEMA Flood Insurance Rate Map number 53033C0640 F, revised May 16, 1996, the site is located in and area determined to be outside the 500-year floodplain.*

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.



*No waste materials discharges to surface waters are proposed.*

b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

*No groundwater withdrawals or discharges are proposed.*

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

*No waste materials are proposed to be discharged to the ground.*

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

*Runoff from the site is conveyed via surface flows to adjacent catch basins located in the city right-of-way. The site is located in an area where storm and sanitary flows are managed via a combined stormwater and sewer system. A small percentage of runoff flows from the truck scale pit are conveyed via a pipe system to the public combined system.*

- 2) Could waste materials enter ground or surface waters? If so, generally describe.

*Although it is possible for waste materials to be conveyed via surface flow to catch basins in the right-of-way, stormwater that comes into contact with waste material or metal stockpiles generated during project operations is managed on site by passing through oleophilic socks prior to exiting the site via surface flow to catch basins. Waste materials generated during project operations is containerized, protected from contact with stormwater and disposed of a licensed facility.*

*The ground surface is paved, minimizing the potential for stormwater that was in contact waste to be in direct contact with soil or from leaching to groundwater.*

- 3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

*No, proposal does not alter or otherwise affect drainage patterns in the vicinity of the site.*

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

*None proposed.*

**4. Plants**

a. Check the types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- Orchards, vineyards, or other permanent crops.
- wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

*No vegetation will be removed or altered.*

c. List threatened and endangered species known to be on or near the site.

*None.*

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

*None*

e. List all noxious weeds and invasive species known to be on or near the site.

*None.*

**5. Animals**

a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site.

Examples include:

- birds: hawk, heron, eagle, songbirds, other:
- mammals: deer, bear, elk, beaver, other:
- fish: bass, salmon, trout, herring, shellfish, other \_\_\_\_\_

*Crows, Seagulls.*

b. List any threatened and endangered species known to be on or near the site.

*None.*

c. Is the site part of a migration route? If so, explain.

*None.*

d. Proposed measures to preserve or enhance wildlife, if any:

*None.*

e. List any invasive animal species known to be on or near the site.

*None.*

## **6. Energy and Natural Resources**

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

*The site uses electrical power provided by Seattle City Light for operation of the truck scale, powering of the office spaces and trailers, and site lighting. Onsite equipment is powered by gasoline and diesel fuel.*

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

*No.*

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

*None.*

## **7. Environmental Health**

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

1) Describe any known or possible contamination at the site from present or past uses.

*There is no known contamination at the site. Spill kits are available at the site to respond to incidental spills or releases of waste during project operations.*

2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

*No known hazardous chemicals/conditions are present that will affect project development.*

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

*Equipment maintenance products such as gear oils, hydraulic oils, waste oils, and used batteries are present on site to support project operations. Propane, oxygen, and acetylene are present for welding and cutting operations for facility operations. All hazardous materials are stored in secure designated locations on site.*

- 4) Describe special emergency services that might be required.

*There are no special emergency services required for site operations.*

- 5) Proposed measures to reduce or control environmental health hazards, if any:

*There are no additional proposed measures over and above current site hazardous materials management and maintenance operations.*

b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

*The site is in an industrial area, near Interstate 5 freeway and King County International Airport – Boeing Field. Ambient noise levels from other nearby uses can be significant. Noise generated from site operations are generated by operation of large trucks and onsite heavy and medium duty equipment, including a Bobcat, metals compactor, and other similar equipment.*

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

*Business hours are 8:30am to 4:30pm, seven days a week. Noise levels are moderate to high as generated by onsite operation of large commercial trucks and onsite heavy equipment.*

- 3) Proposed measures to reduce or control noise impacts, if any:

*None.*

**8. Land and Shoreline Use**

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

*The current use is for a metal recycling business. The proposal will not alter any effects to current nearby land uses or adjacent properties.*

- c. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted

to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

*To the best knowledge of the applicant, the project site has not been used as working farmlands or working forest lands.*

- 1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

*Not applicable. The project site is in an industrial area.*

- c. Describe any structures on the site.

*Onsite structures consist of:*

- And existing small office building, approximately 474 square feet;*
- Two portable trailer offices, approximately 192 square feet each; and*
- One shipping container used for on-site storage, approximately 320 square feet.*

- d. Will any structures be demolished? If so, what?

*No structures will be demolished.*

- e. What is the current zoning classification of the site?

*The site is currently zoned IG2 U/85.*

- f. What is the current comprehensive plan designation of the site?

*The site is identified as within the City of Seattle's Manufacturing/Industrial Center.*

- g. If applicable, what is the current shoreline master program designation of the site?

*Not applicable.*

- h. Has any part of the site been classified as a critical area by the city or county? If so, specify.

*No, the site has not been classified as a critical area.*

- i. Approximately how many people would reside or work in the completed project?

*No people will reside at the completed site. Approximately 5 to 10 people will work at the facility during normal operating hours.*

- j. Approximately how many people would the completed project displace?

*No people will be displaced by the project.*

- k. Proposed measures to avoid or reduce displacement impacts, if any:

*Not applicable.*

- L. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

*The current use of the site is industrial and is compatible with the existing and zoned adjacent land uses.*

- m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any:

*Not applicable.*

## **9. Housing**

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

*Not applicable.*

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

*Not applicable.*

- c. Proposed measures to reduce or control housing impacts, if any:

*Not applicable.*

## **10. Aesthetics**

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

*The tallest height of any structures is approximately 15-feet for the existing office building.*

- b. What views in the immediate vicinity would be altered or obstructed?

*Not applicable.*

- c. Proposed measures to reduce or control aesthetic impacts, if any:

*Not applicable.*

## **11. Light and Glare**

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

*Some limited light spill will be produced by site lights. Glare is anticipated to be limited given the low mounting heights of onsite lights, perimeter privacy fencing, buildings, equipment, and trees.*

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

*Glare is not anticipated to be a safety hazard or interfere with views. The adjacent streets are lighted, and the area is an industrial area.*

- c. What existing off-site sources of light or glare may affect your proposal?

*Glare is not anticipated to affect the proposal. The adjacent streets are lighted, and the area is an industrial area.*

- d. Proposed measures to reduce or control light and glare impacts, if any:

*None are proposed because no impacts are anticipated.*

## **12. Recreation**

- a. What designated and informal recreational opportunities are in the immediate vicinity?

*Not applicable. The immediate vicinity is an industrial area.*

- b. Would the proposed project displace any existing recreational uses? If so, describe.

*Not applicable. No recreational uses will be displaced.*

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

*Not applicable.*

## **13. Historic and cultural preservation**

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers? If so, specifically describe.

*No.*

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

*No.*

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

*No assessments have been performed the site has been a paved industrial site for decades.*

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

*Not applicable.*

#### **14. Transportation**

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

*The site is bounded by public rights-of-way on three sides. The South Vale Street right-of-way is to the north, the Corson Avenue South right-of-way is to the west, the South Harney Street right-of-way is to the south, and a privately-owned commercial industrial property is to the east. All three rights-of-way are improved. The site is accessed via existing driveway to South Vale Street and South Harney Street. No changes are proposed.*

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

*King County Metro Transit bus route 124 serves the area, with stops within approximately 4 blocks or fewer from the site.*

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

*There are five existing parking spaces. No additional spaces are proposed.*

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle, or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

*No new right-of-way improvements are proposed.*

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

*No, the project will not use or occur in the immediate vicinity of water, rail, or air transportation.*

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?

*Current operations at the site generate an estimated 90 vehicle trips per day occur, including customer and employee visits to the site. This estimate is based upon a review of daily sales data and employee and company vehicle trip counts. The proposed use and improvements are not anticipated to affect or alter the number of vehicular trips for the site.*

- g. Will the proposal interfere with, affect, or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

*No, the project will not interfere with, affect, or be affected by the movement of agricultural and forest products on roads or streets in the area.*



h. Proposed measures to reduce or control transportation impacts, if any:

*No transportation impacts are anticipated, and no measures are proposed.*

**15. Public Services**

a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

*No, the project is not anticipated to result in an increased need for public services.*

b. Proposed measures to reduce or control direct impacts on public services, if any.

*No impacts on public services are anticipated, and no measures are proposed.*

**16. Utilities**

a. Circle utilities currently available at the site:

**electricity** natural gas, **water** **refuse service** **telephone** **sanitary sewer** septic system, other: storm drainage

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

*No utilities are proposed for the project.*

**C. Signature**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: \_\_\_\_\_

*JIM NUTTER*

Name of signee \_\_\_\_\_

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JIM NUTTER

Position and Agency/Organization \_\_\_\_\_

PRESIDENT THE RECYCLING DEPOT

Date Submitted: \_\_\_\_\_

7/16/2020

**D. Supplemental sheet for nonproject actions**

(IT IS NOT NECESSARY to use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

*Because the majority of the site is currently covered with an impermeable surface of concrete and asphalt pavements, there are no anticipated increases of discharges to water; air emissions; production, storage, or releases of toxic or hazardous substances; or production of noise.*

Proposed measures to avoid or reduce such increases are:

*Not applicable. An impermeable surface of concrete and asphalt pavements is already in-place.*

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

*Not applicable. An impermeable surface of concrete and asphalt pavements is already in-place.*

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

*Not applicable.*

3. How would the proposal be likely to deplete energy or natural resources?

*Not applicable. An impermeable surface of concrete and asphalt pavements is already in-place.*

Proposed measures to protect or conserve energy and natural resources are:

*Not applicable.*

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

*No affect. No sensitive areas in the vicinity of the Site.*

Proposed measures to protect such resources or to avoid or reduce impacts are:

*Not applicable.*

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

*No affect. An impermeable surface of concrete and asphalt pavements is already in-place.*

Proposed measures to avoid or reduce shoreline and land use impacts are:

*Not applicable.*

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

*The project is not anticipated to increase demands on transportation or public services and utilities.*

Proposed measures to reduce or respond to such demand(s) are:

*Not applicable.*

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

*No conflict. An impermeable surface of concrete and asphalt pavements is already in-place.*