

RAVENSDALE RECLAMATION TRENCH FILLING AND RESTORATION PROJECT
 PORTIONS OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST,
 SECTION 36, TOWNSHIP 22 NORTH, RANGE 6 EAST, AND SECTION 31, TOWNSHIP 22 NORTH, RANGE 7 EAST, W.M.
 KING COUNTY, WASHINGTON
 COVER SHEET

LEGAL DESCRIPTION:
 THE EAST 1/2 OF SEC. 1, TWP 21 N, RGE 6 E, W. 1/4.

VERTICAL DATUM:
 NAVD 88
 KING COUNTY POINT NUMBER 6201 NORTHEAST
 SECTION CORNER OF SECTION 36, TOWNSHIP 22N,
 RANGE 6 E, ELEVATION BEING 623.74

BASIS OF BEARING:
 BEARING IS BASED OFF RECORD OF SURVEY
 AFN NO. 9303159008

SITE DATA:
 LOCATED IN THE 26900 BLOCK OF SE RAVENSDALE
 WAY, RAVENSDALE WA, KING COUNTY.

NP.D.E.S. NOTE:
 NO CONSTRUCTION OR SITE DISTURBANCE FOR THIS
 PROJECT MAY BEGIN BEFORE THE APPLICANT FIRST
 OBTAINS A GENERAL PERMIT TO DISCHARGE
 STORMWATER ASSOCIATED WITH CONSTRUCTION
 ACTIVITY PERMIT FROM THE WASHINGTON STATE
 DEPARTMENT OF ECOLOGY (DOE).

PLAN NOTES:
 1. FILLING SHALL OCCUR ON ONE TRENCH AT A TIME
 TO MINIMIZE POTENTIAL EROSION ISSUES.
 2. EXISTING PROPERTY LINES AND EASEMENTS WERE
 OBTAINED FROM KING COUNTY ASSESSOR'S MAPS.

NOTES:
 SOILS MAP PER "RAVENSDALE MINE TRENCH" BY
 GENESIS RESOURCE CONSULTING DATED NOV, 28
 2007.

PARCEL NUMBER:

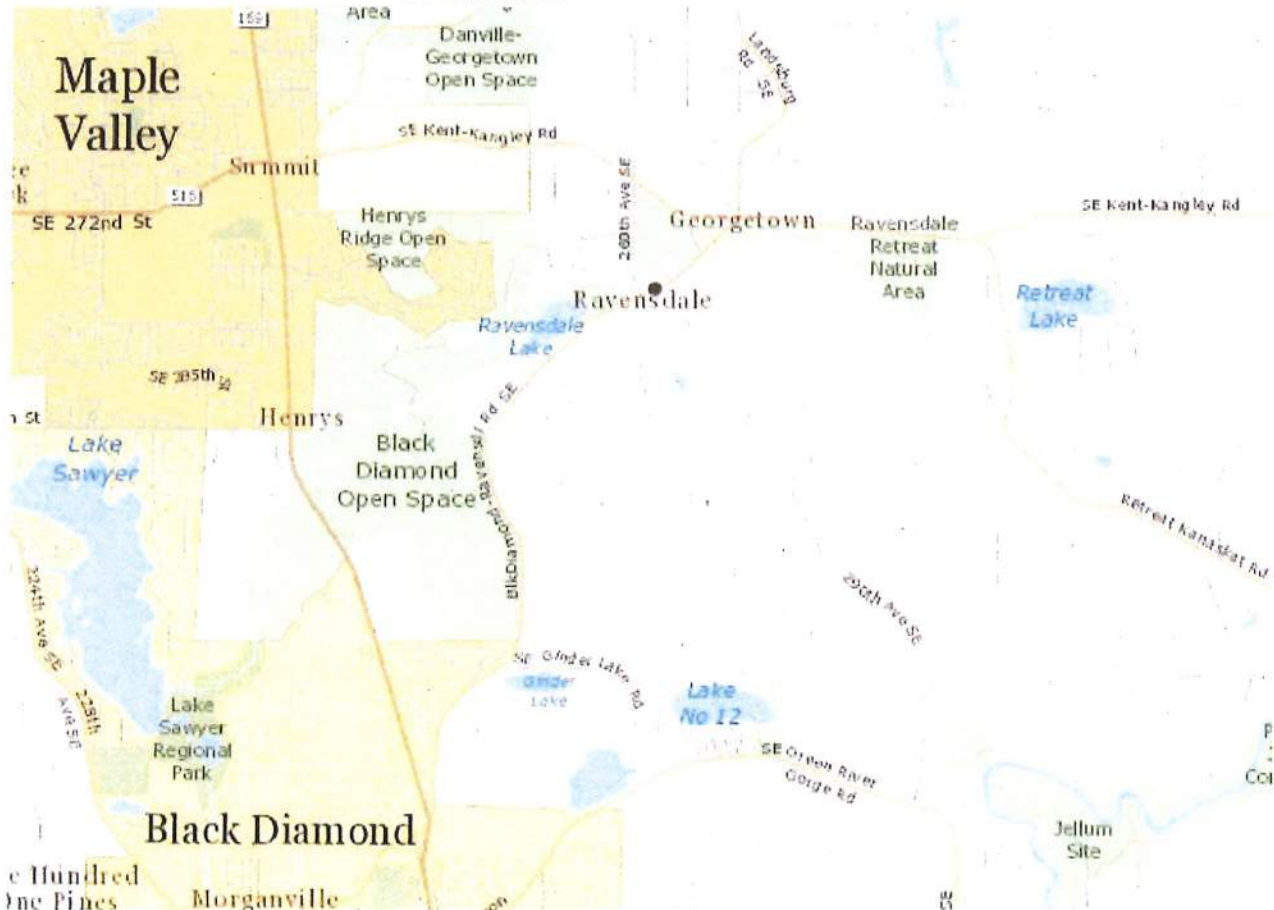
3122079040
3122079080
3122079035
3622069009
3622069064
0121069001
0121069007

TRENCH	FILL (CYA)
A	258,658
C	353,397
G	107,914
H	21,196
I	2,432
J	7,892
TOTAL	773,023

EARTHWORK:
 THIS CALCULATION IS FOR REVIEW AND PERMIT PURPOSES ONLY,
 CONTRACTOR SHALL DO THEIR OWN CALCULATION BASED ON THE
 INFORMATION PROVIDED WITHIN THESE PLANS.
 THE QUANTITIES MAY VARY BASED ON THE FOLLOWING FACTORS:
 1. SHRINK/SWELL OF SOILS
 2. SURFACE STRIPPING
 3. VARIANCE OF STRUCTURAL MATERIAL REQUIRED FOR ACCESS
 ROADS.

UTILITIES:
 TELEPHONE: NONE
 CABLE: NONE
 SCHOOL: TACOMA #409
 FIRE PROTECTION: K.C. FIRE PROTECTION DISTRICT #13
 GAS: NONE

TOPOGRAPHIC NOTE:
 THE EXISTING CULTURAL AND TOPOGRAPHIC DATA SHOWN ON
 THESE DRAWINGS HAS BEEN PREPARED, IN PART, BASED UPON
 INFORMATION FURNISHED BY DAN PRICE LAND SURVEYING AND
 APEX ENGINEERING P.L.L.C. WHILE THIS INFORMATION IS
 BELIEVED RELIABLE, CONTOUR ENGINEERING CANNOT ENSURE
 ITS ACCURACY AND THIS IS NOT RESPONSIBLE FOR THE
 ACCURACY OF THAT INFORMATION OR FOR ANY ERRORS OR
 OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE
 DRAWINGS AS A RESULT.



VICINITY MAP
 SCALE: 1" = 2000'

SHEET INDEX:

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SHEET 3	NOTES AND DETAILS
SHEET 4	T.E.S.C. NOTES AND DETAILS
SHEET 5	TRENCH - A GRADING AND T.E.S.C. PLAN
SHEET 6	TRENCH - A GRADING PROFILE SECTIONS
SHEET 7	TRENCH - A GRADING PROFILE SECTIONS
SHEET 8	TRENCH - A GRADING PROFILE SECTIONS
SHEET 9	NOT USED
SHEET 10	TRENCH - C GRADING AND T.E.S.C. PLAN / GRADING PROFILE SECTIONS
SHEET 11	TRENCH - C GRADING PROFILE SECTIONS
SHEET 12	TRENCH - C GRADING PROFILE SECTIONS
SHEET 13	TRENCH - C GRADING PROFILE SECTIONS
SHEET 14	TRENCH - C GRADING PROFILE SECTIONS
SHEET 15	NOT USED
SHEET 16	TRENCH - G GRADING AND T.E.S.C. PLAN / GRADING PROFILE SECTIONS
SHEET 17	TRENCH - G GRADING PROFILE SECTIONS
SHEET 18	TRENCH - G GRADING PROFILE SECTIONS
SHEET 19	TRENCH - H GRADING AND T.E.S.C. PLAN / GRADING PROFILE SECTIONS
SHEET 20	TRENCH - H GRADING PROFILE SECTIONS
SHEET 21	TRENCH - H GRADING PROFILE SECTIONS
SHEET 22	TRENCH - I GRADING AND T.E.S.C. PLAN / GRADING PROFILE SECTIONS
SHEET 23	TRENCH - J GRADING AND T.E.S.C. PLAN / GRADING PROFILE SECTIONS
SHEET 24	TRENCH - J GRADING PROFILE SECTIONS

TRENCH NOTES:
 IF WORKERS ENTER ANY TRENCH OR OTHER EXCAVATION FOUR OR MORE FEET IN DEPTH
 THAT DOES NOT MEET THE OPEN PIT REQUIREMENTS OF WSDOT SECTION 2-09.3(3)(b), IT
 SHALL BE SHORED AND CRIBBED. THE CONTRACTOR IS ALONE RESPONSIBLE FOR WORKER
 SAFETY. ALL TRENCH SAFETY SYSTEMS SHALL MEET THE REQUIREMENTS OF THE
 WASHINGTON INDUSTRIAL SAFETY AND HEALTH ACT, CHAPTER 49.17 RCW.

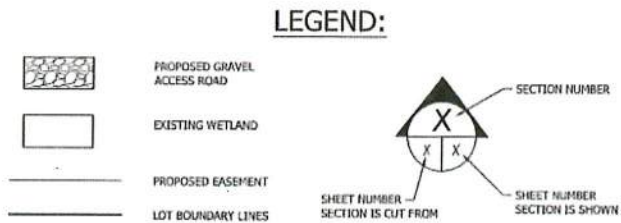
UTILITY NOTES:
 EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS WAS OBTAINED FROM
 BEST AVAILABLE SOURCES AT THE TIME OF DESIGN. CONTRACTOR SHALL BE SOLELY
 RESPONSIBLE FOR THE RELOCATION OF EXISTING UNDERGROUND CONFLICTING
 UTILITIES DEPICTED OR NOT DEPICTED ON THESE PLANS.

FILL SPECIFICATION:
 FILL MATERIAL SHALL NOT CONTAIN PETROLEUM PRODUCTS, OR SUBSTANCES
 WHICH ARE HAZARDOUS, DANGEROUS, TOXIC, OR WHICH OTHERWISE VIOLATE
 ANY STATE, FEDERAL, OR LOCAL LAW ORDINANCE, CODE, REGULATION, RULE,
 ORDER, OR STANDARD. ONLY EARTH MATERIAL SHALL BE PLACED IN FILLS.

ONE CALL AT 1-800-424-5555
 UNDERGROUND UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION
 THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR
 THAT THE LOCATION, SIZE, AND MATERIAL IS ACCURATE. THE
 CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING,
 INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR
 EXCAVATION FOR ANY PIPE OR STRUCTURE. TO DETERMINE ACTUAL
 LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE
 APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE
 CONTRACTOR SHALL NOTIFY ONE CALL AT 1-800-424-5555 AND
 ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE
 CONSTRUCTION.

(Note to Engineer: This approval signature
 block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Wally Archuleta, P.E. DEVELOPMENT ENGINEER	Date



Vicinity Map Scale 1"=

Site Plan Approval

Approval of these plans is for construction of road and drainage improvements, site drainage & grading and temporary erosion control in unincorporated King County only. These plans do not authorize any other utility approval or improvements proposed in any State right of way.

Site plan approval is void if the commercial building permit has not been obtained or renewed within two years of approval.

Subdivision plan approval is void if the final plat is not recorded prior to the preliminary plat approval expiration.

PRO RATA SHARE ASSESSMENT ANALYSIS (County Use Only)

Section	Township	Range	Tax Parcel	Number

Site Location is within the _____ drainage shed(s)
 Pro Rata Share Assessment(s) are: Required Not Required
 from the site due to development for increased storm water runoff.
 Peak Runoff Assessment Rate(\$) per c.f.s. increases (10 year, 2 hour storm)
 Peak Volume Assessment Rate(\$) per Ac. Ft. increases (2 year, 2 hour storm)

Soils Map Scale 1"=

AGREEMENTS, PLAN REFERENCES, PERMITS ETC.
 (To be completed by Consultant)

Preliminary Plat Approval/Permit Issued Date: _____
 Expiration Date: _____
 Other Related Permit Numbers Received:
 Right-of-Way Use Permit _____
 Grading _____
 Building/Structural _____
 Other _____

Board feet of tree removal on site: _____
 Cubic yards of material hauled on/off the site: _____
 Is this a highly sensitive area site? (Yes/No): _____
 Note: If "yes", per SWOM Appendix D44 a Highly Sensitive Site Erosion Control Supervisor is required. See ESC plan.

Emergency 911
 Police-Fire-Rescue

APPROVED
 SUBJECT TO PERMIT CONDITIONS
 7/31/2020
 KING COUNTY LAND USE SERVICES DIV.

Notice Required

Contractors shall notify operators who maintain underground utility lines in the area of proposed excavation or blasting at least two business days, but not more than ten working days prior to commencement of excavation or demolition in accordance with RCW Title 19. Names and telephone numbers of the operators of underground utility lines in this project appear below. These numbers shall also be used to serve in an emergency condition as required.

Utility	Phone
Sanitary Sewer	_____
Water District	_____
Gas Company	_____
Power Company	_____
Call Before You Dig	DIAL-A-DIG 1-800-424-5555

Notes

- The Developer is required to notify the Land Use Services Division, Land Use Inspection Section (206) 296-6642, three days prior to the beginning of construction for a preconstruction conference and specifically request inspection before beginning:
 A. installing siltation and erosion control measures
 B. clearing and grubbing
 C. earthwork
 D. installation of any underground utility
 E. Before placing subbase, base or paving surfaces
 F. Installation of any forms or placing any concrete
- A permit must be obtained from the office of the Resident Engineer, Washington State Department of Transportation, before any construction is started on any existing state route.
- A Hydraulic Project Approval (HPA) Permit must be obtained from the Washington State Department of Fisheries prior to any work when required.

Bonding Information

Restoration Bond Amount \$ _____
 Performance Bond Amount \$ _____

CONTOUR ENGINEERING - LAND PLANNERS
 CIVIL ENGINEERS - SURVEYORS
 35309 56TH STREET NW, SUITE 106, GIG HARBOR, WA 98335
 Phone: 252-857-5454 Fax: 252-509-0044 info@contourpic.com

RAVENSDALE TRENCH FILLING COVER SHEET

RECOMMENDED FOR APPROVAL
 (To be completed by King County)

Date _____

Review Engineer _____
 Senior Engineer _____
 Traffic & Planning Engineer _____
 Sensitive Areas _____
 Structural Review Engineer _____
 Other _____

APPROVED FOR CONSTRUCTION
 DEPARTMENT OF DEVELOPMENT & ENVIRONMENTAL SERVICES

Date _____ Molly A. Johnson, P.E.
 Development Engineer

PROJECT CONTACT INFORMATION
 (To be completed by Consultant)

Applicant/Contract Owner/Leasee Name _____ Phone _____
 Address and Zip Code _____

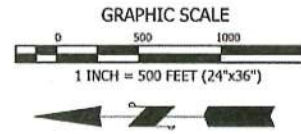
A Partnership
 An Individual (253) 656-6060

Ownership/Trustee Name _____ Phone _____
 RAVENSDALE LLC (KURT ERICKSON)
 41305 90TH AVENUE E, EATONVILLE, WA 98328
 A Corporation
 A Partnership
 An Individual (253) 857-5454

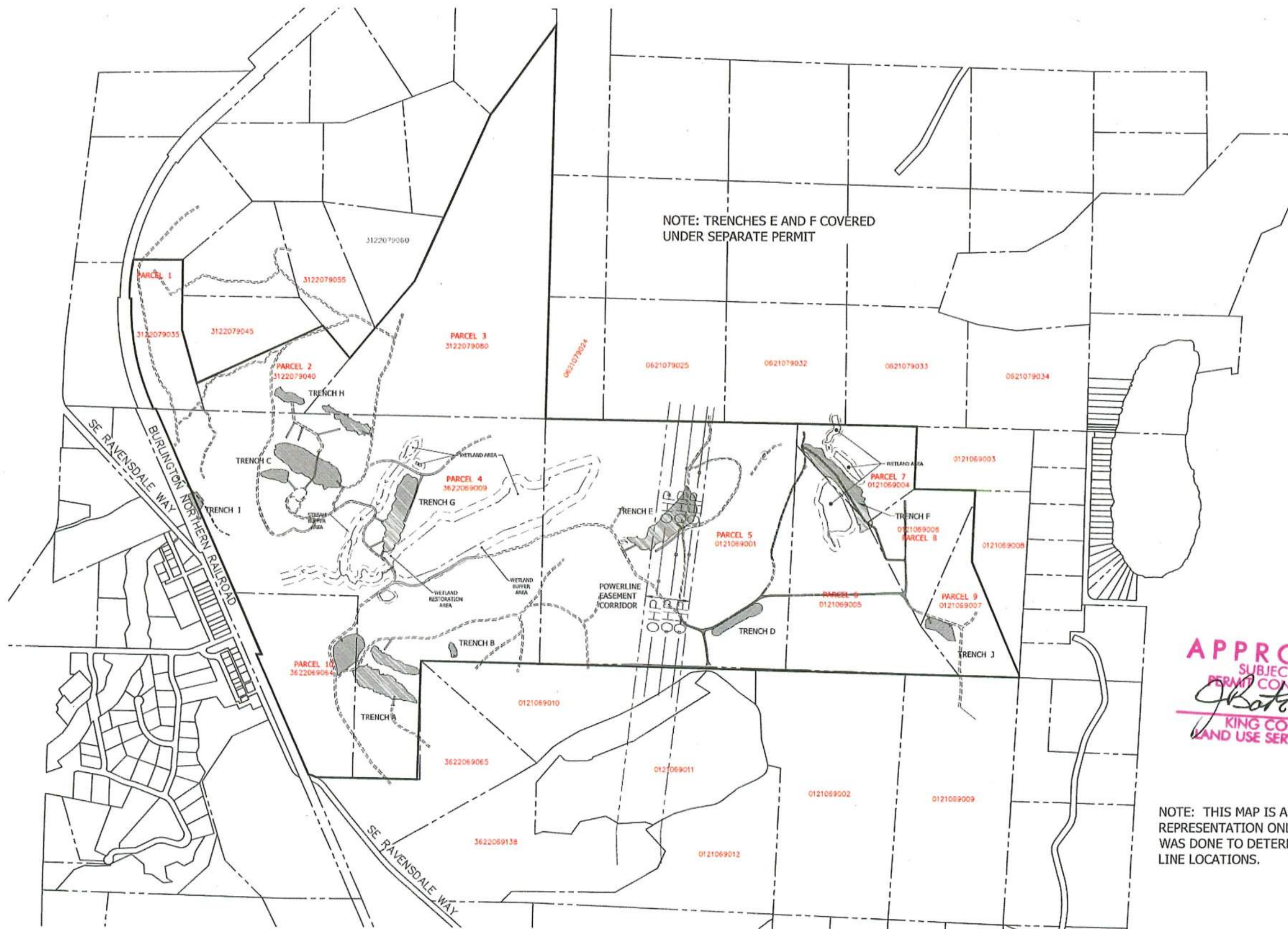
Certified Surveyor/Engineer Name _____ Phone _____
 33209 56TH STREET NW, SUITE 106, GIG HARBOR, WA 98335
 Address and Zip Code _____

DDES FILE NUMBERS:
 Activity Number: _____
 Project Number: _____
 Development No: _____

Sheet 1 of 24



RAVENSDALE RECLAMATION TRENCH FILLING AND RESTORATION PROJECT
 PORTIONS OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST,
 SECTION 36, TOWNSHIP 22 NORTH, RANGE 6 EAST, AND SECTION 31, TOWNSHIP 22 NORTH, RANGE 7 EAST, W.M.
 KING COUNTY, WASHINGTON
 TRENCH AND PARCEL LOCATIONS MAP

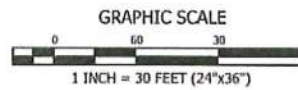


APPROVED
 SUBJECT TO
 PERMIT CONDITIONS
J. Jacobs 7/21/2020
 KING COUNTY
 LAND USE SERVICES DIV.

NOTE: THIS MAP IS A GRAPHICAL REPRESENTATION ONLY, NO SURVEYING WAS DONE TO DETERMINE PROPERTY LINE LOCATIONS.

REVISION	DESCRIPTION	DATE	BY
1	REVISE LOCATION OF TRENCH I	2019-07-27	JJ

CONTOUR ENGINEERS CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS 3309 56th Street NW, Suite 106 Gig Harbor, WA 98335 Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourplc.com	
SHEET TITLE: TRENCH AND PARCEL LOCATION MAP PROJECT: RAVENSDALE RECLAMATION TRENCH FILLING AND RESTORATION CLIENT: RAVENSDALE LLC 41305 90TH AVENUE E EATONVILLE, WA 98228 CONTACT: KURT ERLICKSON PHONE: (253) 606-6060	
DESIGNER: J. JACOBY	ENGINEER: B. ALLEN
DRAWN: J. JACOBY	DATE: 2020.07.28
PROJECT: 09-040	DWG NAME: 09-040-SEC
SHEET: C2	REV.:
2 OF 24	



RAVENSDALE TRENCH FILLING
A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
KING COUNTY, WASHINGTON
TRENCH - A

TRENCH A:
SCALE: 1" = 60' HORIZONTAL
1" = 20' VERTICAL

PROPOSED IMPORT QUANTITY: 258,658 CY±
(BANK YARDS)

TOP SOIL: 8,072 CY±*
*ASSUMING 1' DEPTH

CONSTRUCTION NOTES:

- 1 LIMIT OF WORK, CLEARING/GRADING LIMITS AS SHOWN
- 2 LOCATE FILTER FABRIC FENCE AS CLOSE TO CLEARING LIMITS AS PRACTICAL.
- 3 UNDISTURBED AREAS.
- 4 WETLAND BUFFER DO NOT DISTURB.
- 5 MAINTAIN EXISTING GRAVEL ACCESS ROAD.
- 6 ARMOR PER GEOTECHNICAL ENGINEER REQUIREMENTS.
- 7 FIELD LOCATE ACTUAL WETLAND AND BUFFER PRIOR TO ANY FILLING. ADJUST EDGE OF FILL/TOE SLOPE TO KEEP ALL WORK OUTSIDE OF BUFFER.

PLAN NOTES:

1. SEE PLANTING NOTES SHEET C3.
2. 5' WIDE BENCH VERTICAL SEPARATION PER GEOTECHNICAL ENGINEER REQUIREMENTS.
3. ACTUAL LOCATION OF TOE OF SLOPE VARIES TO ALLOW WORKING AREA/CLEARANCE. TOE OF SLOPE SHALL NOT ENCRUCH INTO WETLAND BUFFER.
4. ACCESS ROADS SHOW ARE FOR REFERENCE ONLY. LOCATIONS SUBJECT TO BE MODIFIED AS NEEDED FOR FILLING OPERATIONS.
5. ALL CONSTRUCTION ENTRANCES AND NEW ACCESS POINTS ASSOCIATED WITH THIS PROJECT ARE TO BE RESTORED TO THE ORIGINAL CONDITION AFTER CONSTRUCTION HAS ENDED.

TESC LEGEND:

- AP TEMPORARY ACCESS POINT - AFTER COMPLETION OF PROJECT, ROADWAY IS TO BE REMOVED - AREA TO BE HYDROSEED & REFORESTED PER FOREST PRACTICE REQUIREMENTS
- FF FILTER FABRIC FENCE - SEE NOTES AND DETAIL SHEET C4
- DI ROCK LINED INTERCEPTOR DITCH
- MH HYDROSEED, FERTILIZER, AND MULCH - SEE NOTES SHEET C3
- CL CLEARING/CONSTRUCTION LIMITS
- EB EROSION CONTROL BLANKET

QUARRY SPALL NOTE

QUARRY SPALLS UTILIZED FOR "ROCK LINING" FOR INTERCEPTOR DITCHES SHALL MEET THE FOLLOWING GRADATION:

- PASSING 8-INCH SQUARE SIEVE 100%
- PASSING 3-INCH SQUARE SIEVE 40-60% MAX
- PASSING 3/4 INCH SQUARE SIEVE 0-10% MAX

GEOTECHNICAL NOTES

1. CONTRACTOR SHALL HAVE PERIODIC GEOTECHNICAL REVIEWS OF TRENCH FILL.
2. NO SLOPES GREATER THAN 3:1 WILL BE ALLOWED WITHOUT PRIOR GEOTECHNICAL APPROVAL PER GEOTECHNICAL RECOMMENDATIONS BY ICICLE CREEK ENGINEERS.
3. BENCHES SHOWN ON PLANS MAY BE ELIMINATED IF SLOPES ARE 3:1 OR LESS AND WITH GEOTECHNICAL APPROVAL AND INSPECTION.
4. ANY CHANGES TO SLOPE SHOULD BE FULLY REVIEWS AND INSPECTED BY GEOTECHNICAL ENGINEERS.



APPROVED
SUBJECT TO PERMIT CONDITIONS
J. Bate 7/31/2020
KING COUNTY
LAND USE SERVICES DIV.

VERIFICATION NOTE
ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

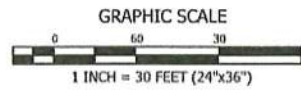
CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG

REVISION	DESCRIPTION	DATE	BY

CONTOUR	
ENGINEERING • LAND PLANNERS	
CIVIL ENGINEERS • SURVEYORS	
3309 56th Street NW, Suite 106 Gig Harbor, WA 98335	
Phone: 253-857-5154 ~ Fax: 253-509-0044 ~ Info@contourplc.com	

DESIGNER: J. JACOBY	ENGINEER: B. ALLEN
DRAWN: J. JACOBY	S 1 T 21 N R 6E WM
DATE: 2020.07.28	REVISION:
PROJECT: 09-040	DWG NAME: 09-040 TRENCH A
SHEET: C5	REV.:
5 OF 24	

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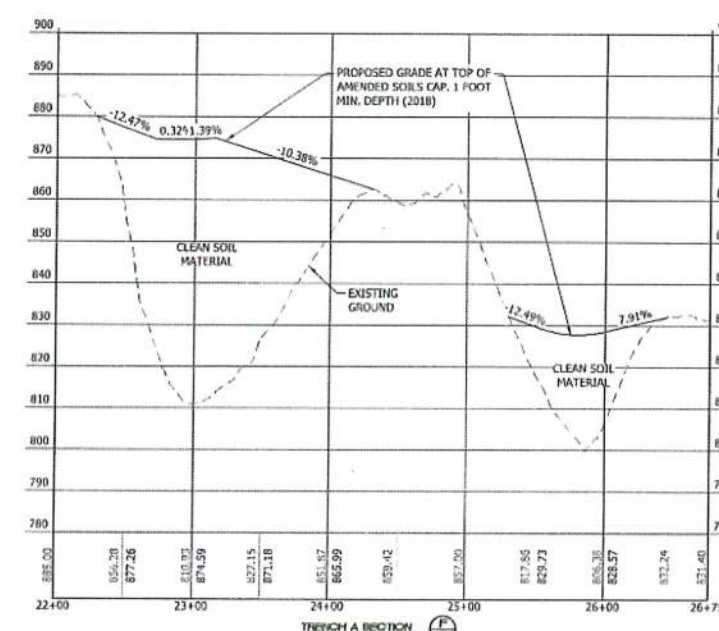
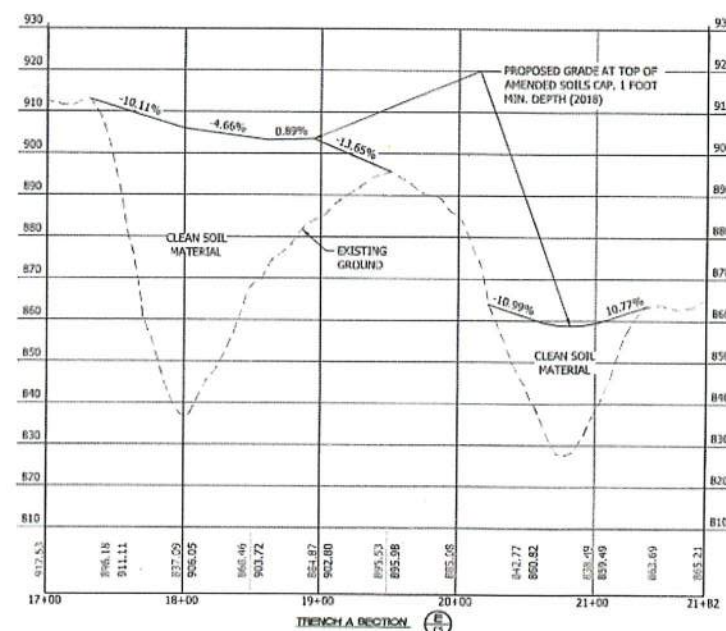
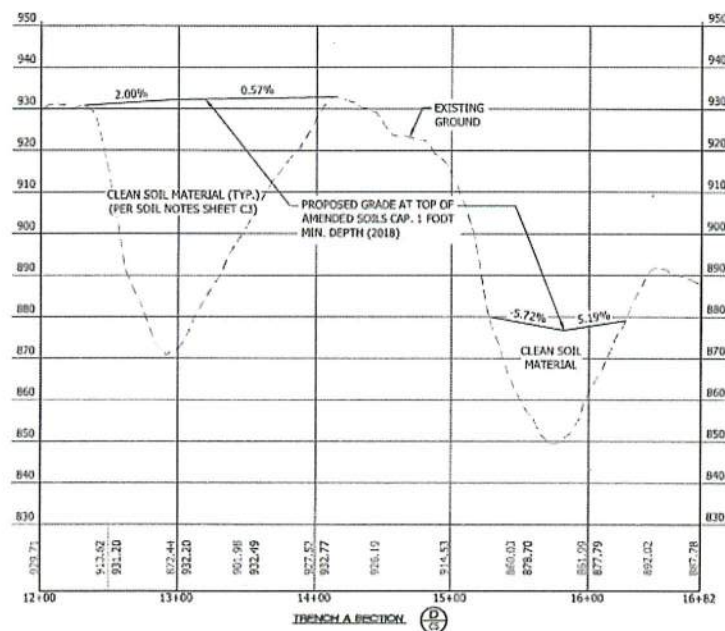
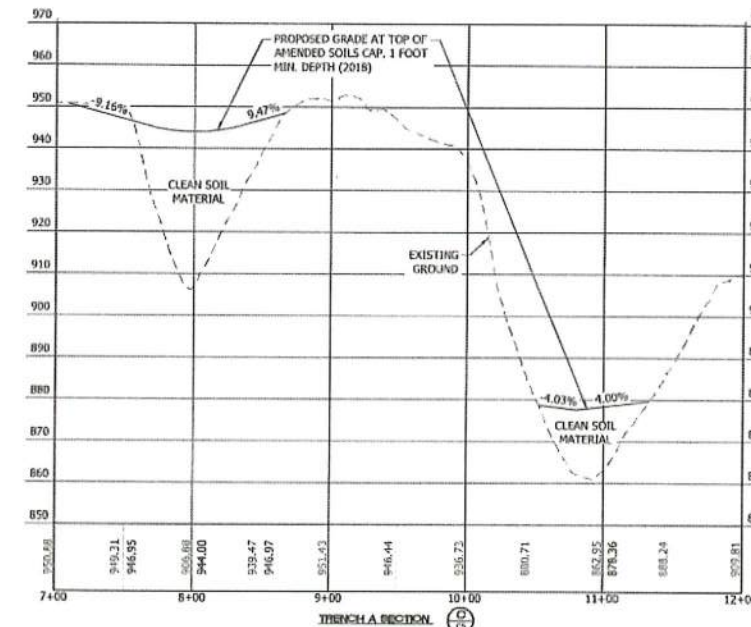
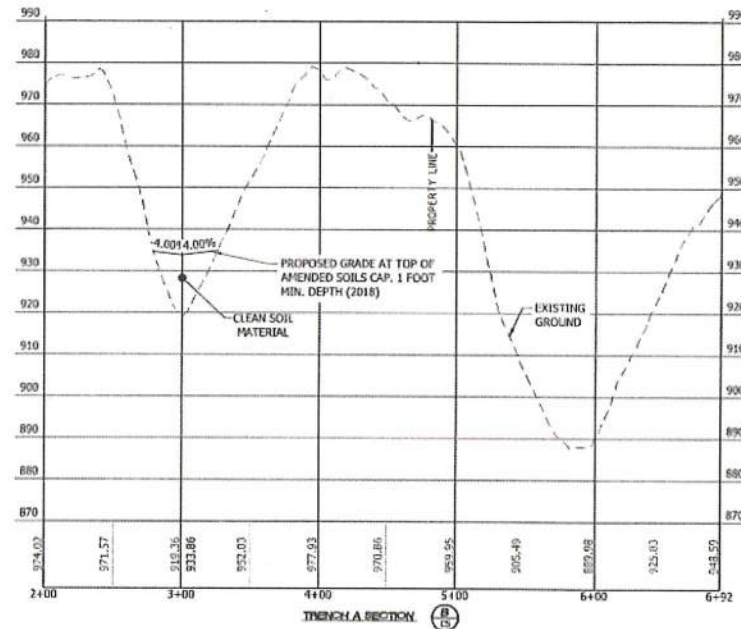
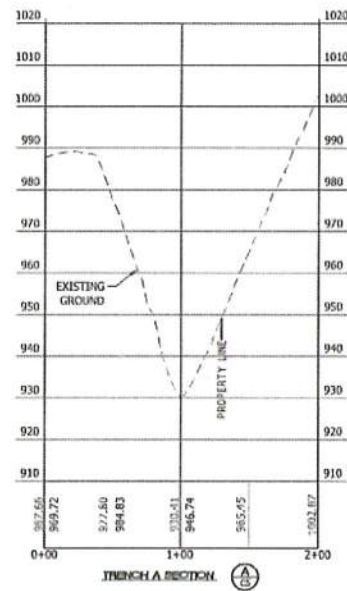
TRENCH A:
 SCALE: 1" = 60' HORIZONTAL
 1" = 20' VERTICAL

PROPOSED IMPORT QUANTITY: 258,658 CY±
 (BANK YARDS)

TOP SOIL: 8,072 CY±*
 *ASSUMING 1' DEPTH

RAVENSDALE TRENCH FILLING
 A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
 KING COUNTY, WASHINGTON
 TRENCH - A

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 KING COUNTY
 LAND USE SERVICES DIV.

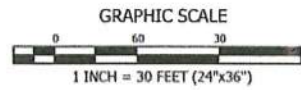


REVISION	DESCRIPTION	DATE	BY

CONTOUR	
ENGINEERING • LLC	
CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS	
3309 56th Street NW, Suite 105 Gig Harbor, WA 98335	
Phone: 253-557-5454 ~ Fax: 253-509-0044 ~ info@contourplc.com	

SHEET TITLE: TRENCH - A PROJECT: RAVENSDALE TRENCH FILLING CLIENT: RAVENSDALE LLC 41306 50TH AVENUE E EATONVILLE, WA 98328 CONTACT: KURT ERICSON PHONE: (253) 606-6060	
DESIGNER: J. JACOBY ENGINEER: B. ALLEN DRAWN: J. JACOBY DATE: 2020.07.28 REVISED:	
PROJECT: 09-040 DWG NAME: 09 040 TRENCH A	
SHEET	REV.
C6	0
6 OF 24	

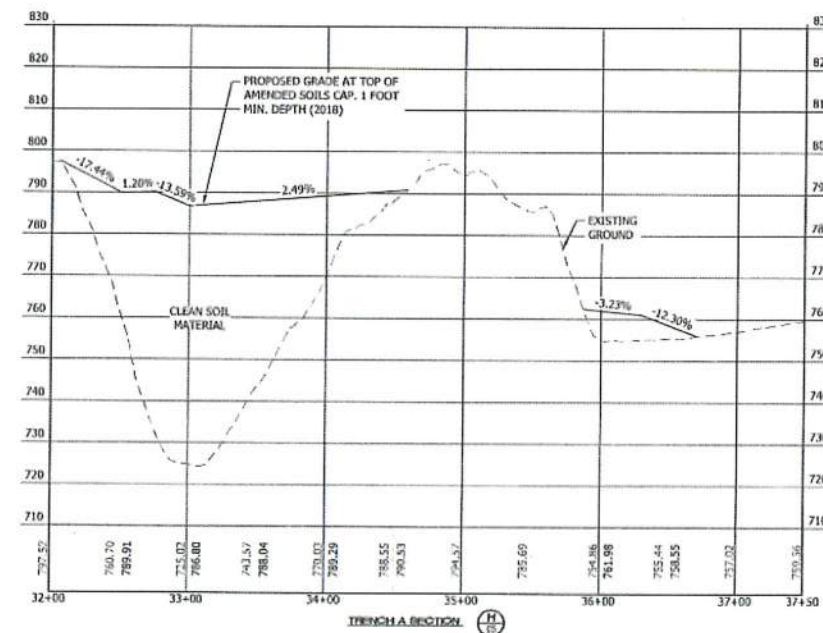
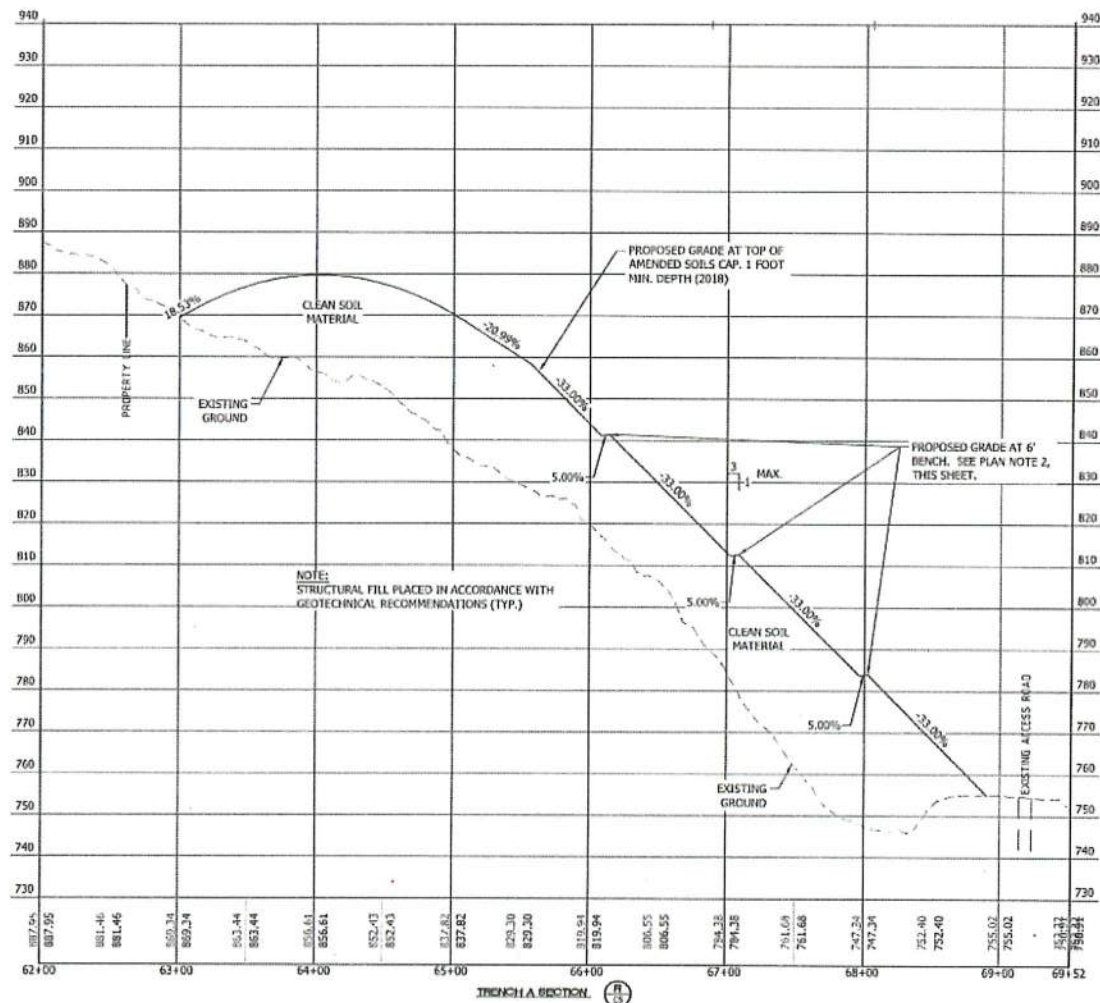
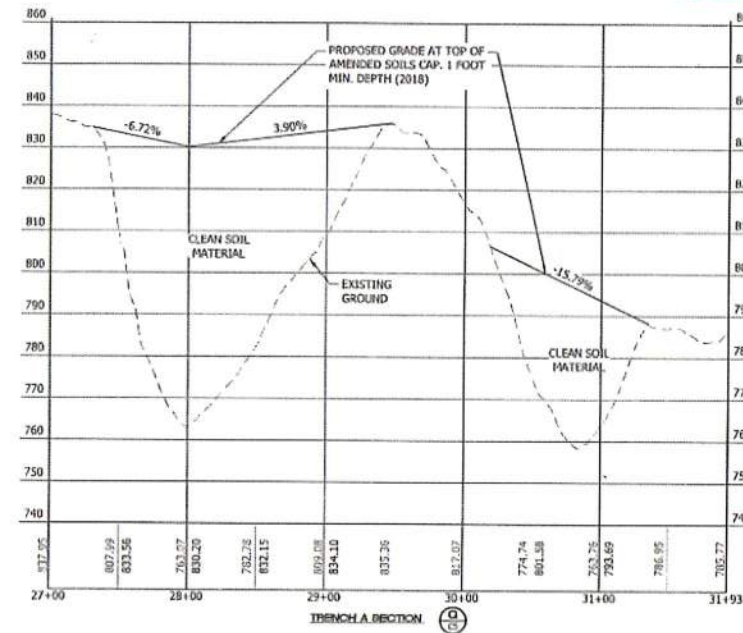
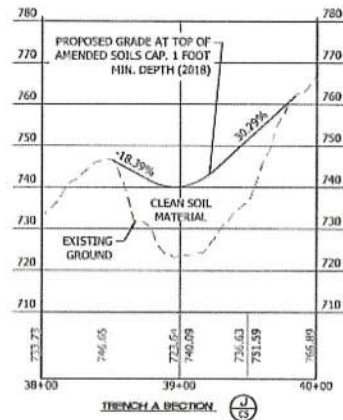
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RAVENSDALE TRENCH FILLING
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J. Jacobs 7/31/2020
 KING COUNTY
 LAND USE SERVICES DIV.

TRENCH A:
 SCALE: 1" = 60' HORIZONTAL
 1" = 20' VERTICAL
 PROPOSED IMPORT QUANTITY: 258,658 CY±
 (BANK YARDS)
 TOP SOIL: 8,072 CY±*
 *ASSUMING 1' DEPTH



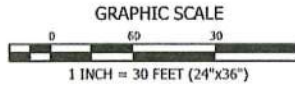
REVISION	DESCRIPTION	DATE	BY

SHEET TITLE: TRENCH - A	
RAVENSDALE TRENCH FILLING	
CLIENT: RAVENSDALE LLC	41305 30TH AVENUE E
BAYTONVILLE, WA 98328	
CONTACT: KURT BRICKSON	PHONE: (253) 606-6066
DESIGNER: J. JACOBY	ENGINEER: B. ALLEN
DRAWN: J. JACOBY	
S 1 T 21 N R 6E W4	
DATE: 2020.07.28	
REVISED:	
PROJECT: 09-040	
DWG NAME: 09-040 TRENCH A	
SHEET	REV.
C7	
7 OF 24	

CONTOUR
 ENGINEERING • LLC
 CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS
 3309 56th Street NW, Suite 106 Gig Harbor, WA 98335
 Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourplc.com



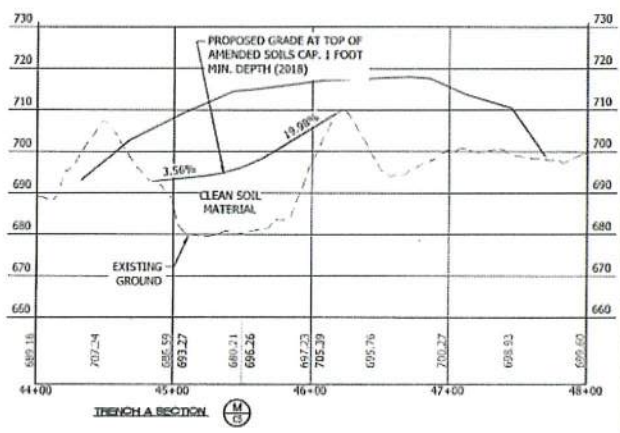
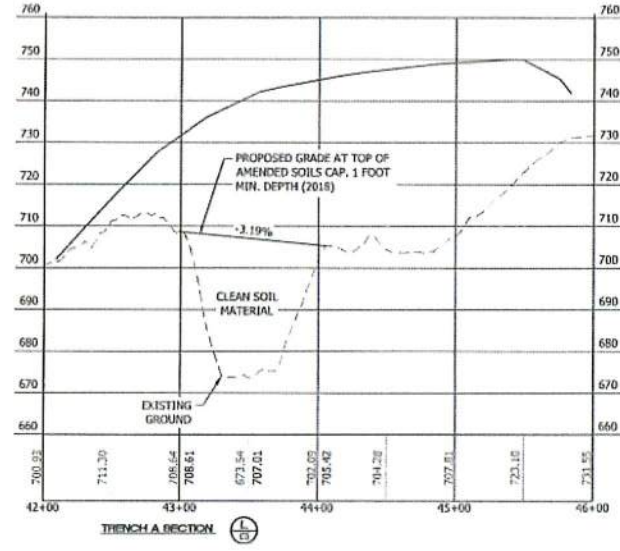
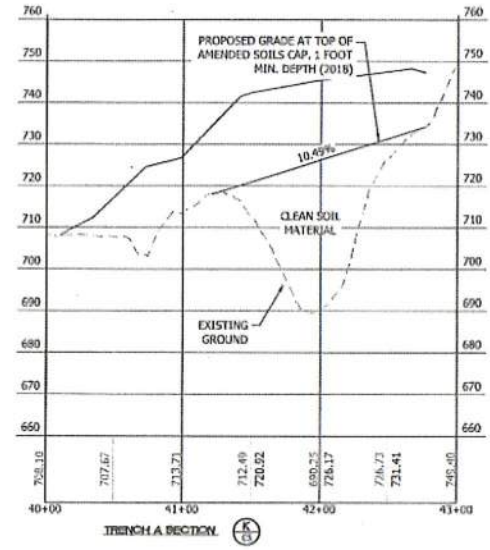
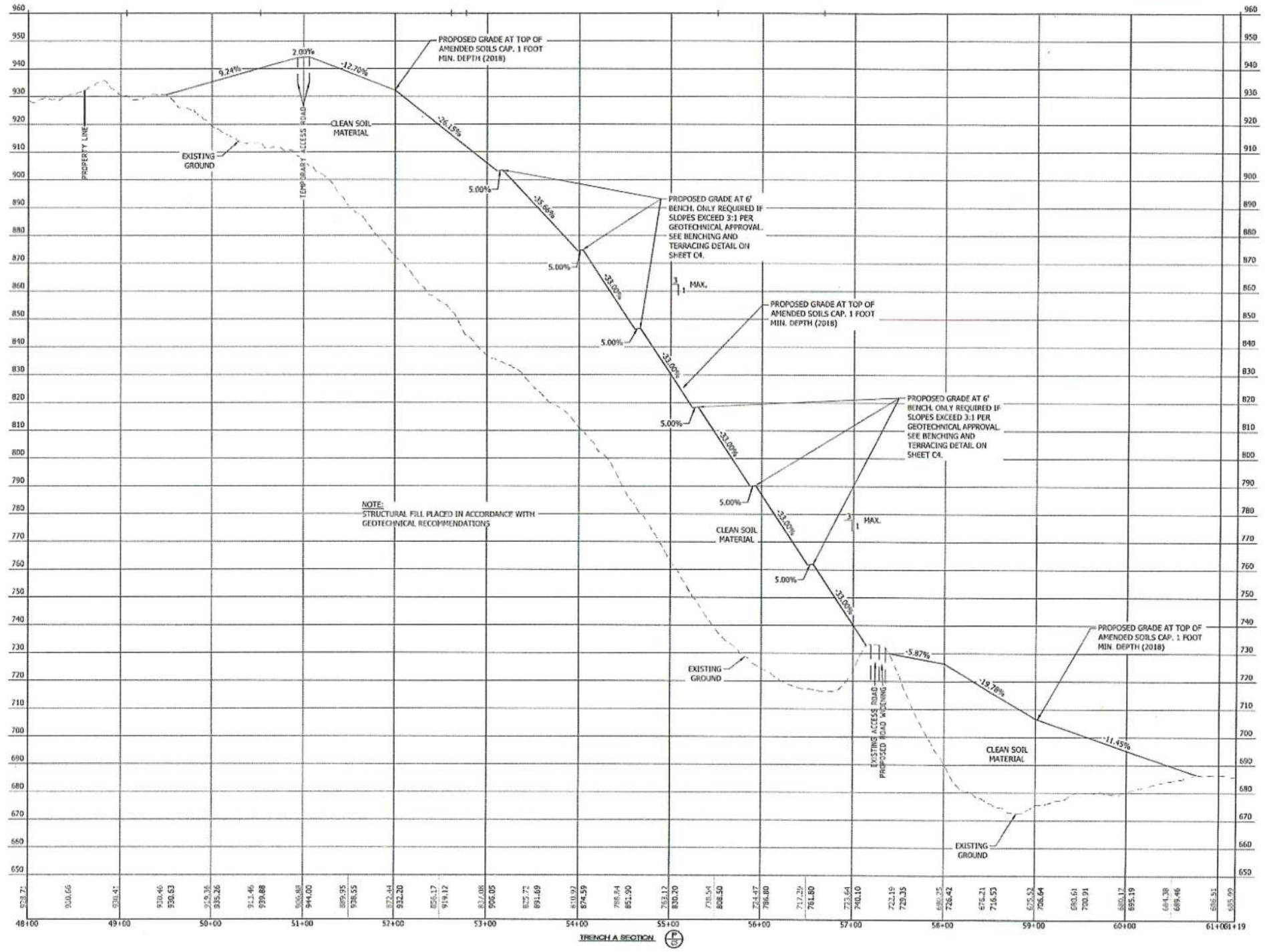
07.28.2020



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 KING COUNTY, WASHINGTON
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CONTOUR
 ENGINEERING, LLC
 CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS
 3309 56th Street NW, Suite 105 Gig Harbor, WA 98335
 Phone: 253-857-5454 ~ Fax: 253-505-0044 ~ info@contourplc.com

07.28.2020

SHEET TITLE: TRENCH - A

DESIGNER: J. JACOBY
 ENGINEER: B. ALLEN
 DRAWN: J. JACOBY
 DATE: 2020.07.28
 REVISED:

PROJECT: 09-040
 DWG NAME: 09-040-TRENCH A

RAVENSDALE TRENCH FILLING
 CLIENT: RAVENSDALE LLC
 41306 30TH AVENUE E
 EATONVILLE, WA 99228
 CONTACT: KURT BRUCKSON
 PHONE: (253) 606-6066

SHEET	REV.
C8	0

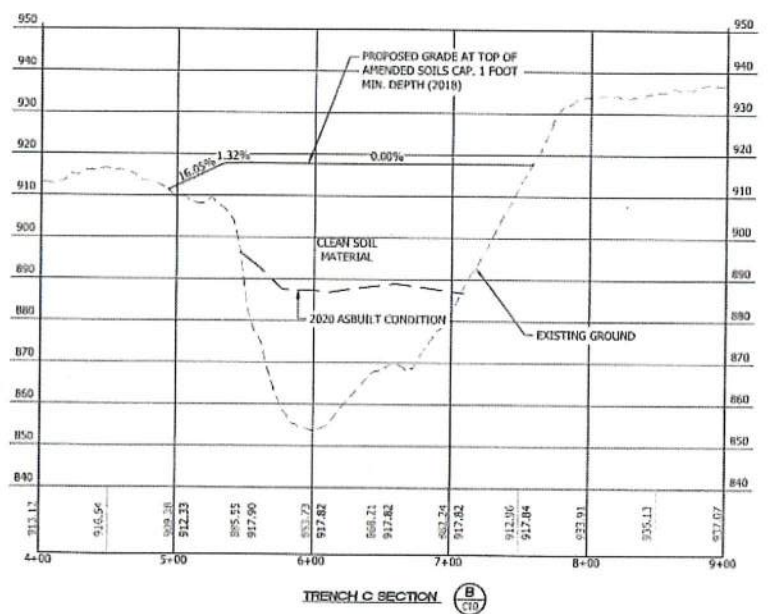
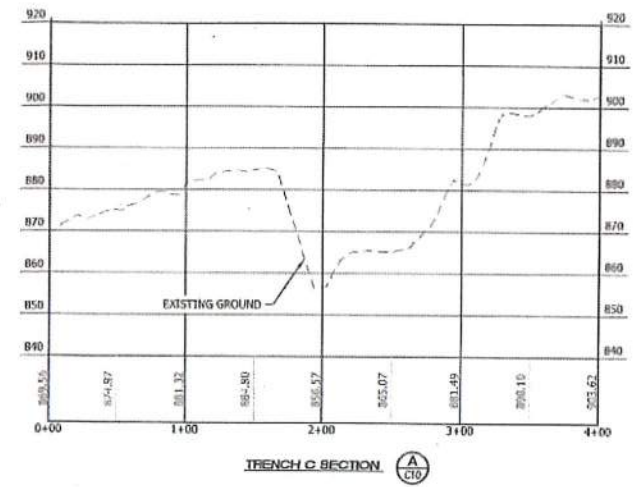
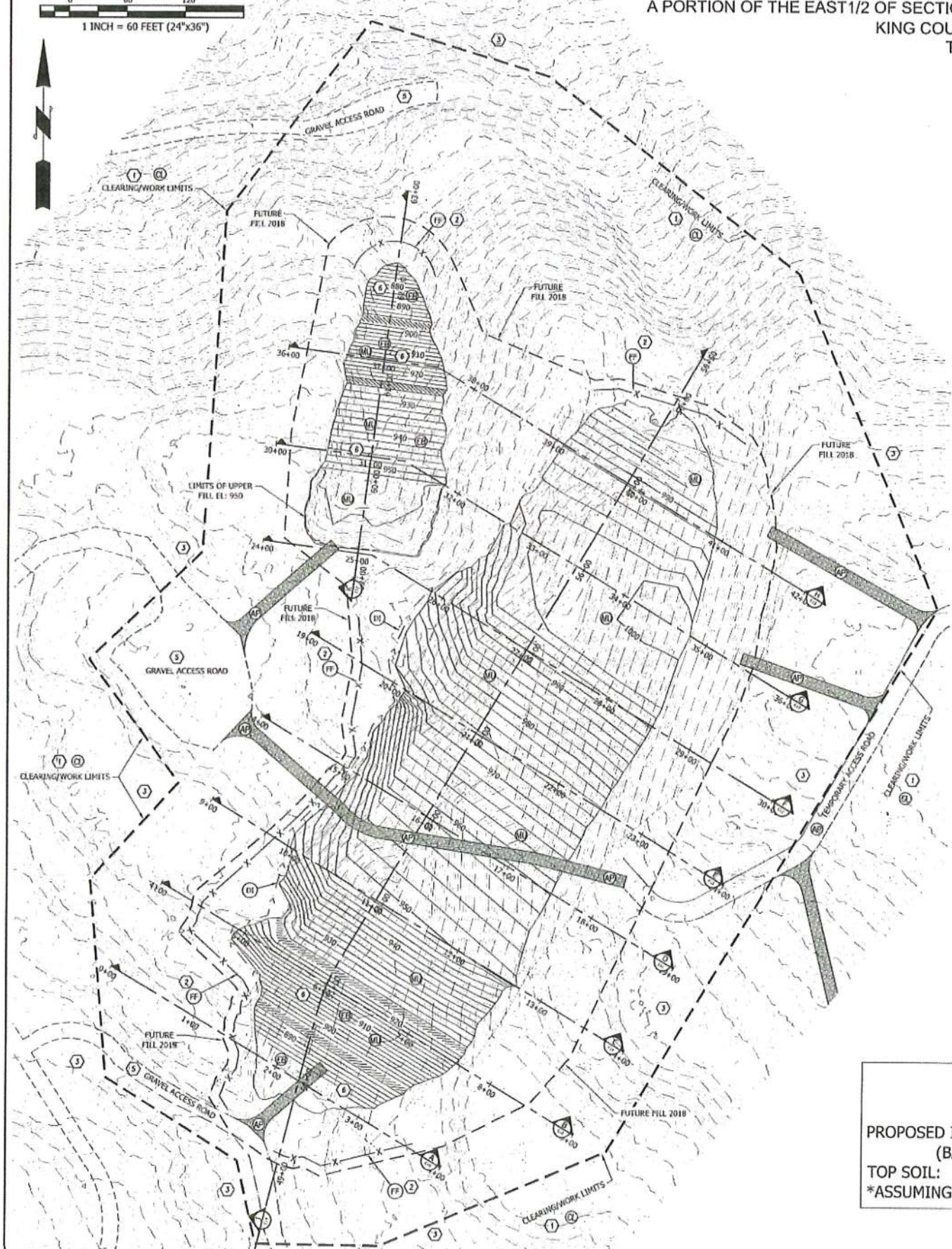
8 OF 24

PROJECT FILED IN THE PUBLIC RECORDS DIVISION AT 10:40 AM ON JULY 28, 2020

GRAPHIC SCALE



RAVENSDALE TRENCH FILLING
 A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
 KING COUNTY, WASHINGTON
 TRENCH - C



TRENCH C:
 SCALE: 1" = 60' HORIZONTAL
 1" = 20' VERTICAL
 PROPOSED IMPORT QUANTITY: 353,397 CY±
 (BANK YARDS)
 TOP SOIL: 7,652 CY±*
 *ASSUMING 1' DEPTH

CONSTRUCTION NOTES:

- ① LIMIT OF WORK, CLEARING/GRADING LIMITS AS SHOWN
- ② LOCATE FILTER FABRIC FENCE AS CLOSE TO CLEARING LIMITS AS PRACTICAL.
- ③ UNDISTURBED AREAS.
- ④ WETLAND BUFFER DO NOT DISTURB.
- ⑤ MAINTAIN EXISTING GRAVEL ACCESS ROAD.
- ⑥ ARMOR PER GEOTECHNICAL ENGINEER REQUIREMENTS.
- ⑦ FIELD LOCATE ACTUAL WETLAND AND BUFFER PRIOR TO ANY FILLING. ADJUST EDGE OF FILL/TOE SLOPE TO KEEP ALL WORK OUTSIDE OF BUFFER.

PLAN NOTES:

1. SEE PLANTING NOTES SHEET C3.
2. 5' WIDE BENCH VERTICAL SEPARATION PER GEOTECHNICAL ENGINEER REQUIREMENTS.
3. ACTUAL LOCATION OF TOE OF SLOPE VARIES TO ALLOW WORKING AREA/CLEARANCE. TOE OF SLOPE SHALL NOT ENCRDACH INTO WETLAND BUFFER.
4. ACCESS ROADS SHOW ARE FOR REFERENCE ONLY. LOCATIONS SUBJECT TO BE MODIFIED AS NEEDED FOR FILLING OPERATIONS.
5. ALL CONSTRUCTION ENTRANCES AND NEW ACCESS POINTS ASSOCIATED WITH THIS PROJECT ARE TO BE RESTORED TO THE ORIGINAL CONDITION AFTER CONSTRUCTION HAS ENDED.

TESC LEGEND:

- (AP) TEMPORARY ACCESS POINT - AFTER COMPLETION OF PROJECT, ROADBED IS TO BE REMOVED - AREA TO BE HYDROSEED & REFORESTED PER FOREST PRACTICE REQUIREMENTS
- (FF) FILTER FABRIC FENCE SEE NOTES AND DETAIL SHEET C4
- (DI) ROCK LINED INTERCEPTOR DITCH
- (ML) HYDROSEED, FERTILIZER, AND MULCH SEE NOTES SHEET C3
- (CL) CLEARING/CONSTRUCTION LIMITS
- (EB) EROSION CONTROL BLANKET

QUARRY SPALL NOTE

- QUARRY SPALLS UTILIZED FOR "ROCK LINING" FOR INTERCEPTOR DITCHES SHALL MEET THE FOLLOWING GRADATION:
- PASSING 8-INCH SQUARE SIEVE 100%
 - PASSING 3-INCH SQUARE SIEVE 40-50% MAX
 - PASSING 3/4-INCH SQUARE SIEVE 0-10% MAX

GEOTECHNICAL NOTES

1. CONTRACTOR SHALL HAVE PERIODIC GEOTECHNICAL REVIEWS OF TRENCH FILL.
2. NO SLOPES GREATER THAN 3:1 WILL BE ALLOWED WITHOUT PRIOR GEOTECHNICAL APPROVAL PER GEOTECHNICAL RECOMMENDATIONS BY ICELE CREEK ENGINEERS.
3. BENCHES SHOWN ON PLANS MAY BE ELIMINATED IF SLOPES ARE 3:1 OR LESS AND WITH GEOTECHNICAL APPROVAL AND INSPECTION.
4. ANY CHANGES TO SLOPE SHOULD BE FULLY REVIEWS AND INSPECTED BY GEOTECHNICAL ENGINEERS.

VERIFICATION NOTE

ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES, CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

APPROVED
 SUBJECT TO PERMIT CONDITIONS
 KING COUNTY LAND USE SERVICES DIV.
 7/21/2020

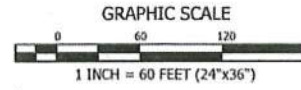
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REVISION	DESCRIPTION	DATE	BY

CONTOUR ENGINEERING, LLC	
ENGINEERS-SURVEYORS-LAND PLANNERS	
3309 96th Street NW, Suite 106 Gig Harbor, WA 98335	
Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourllc.com	

ROBERT M. ALLEN	
REGISTERED PROFESSIONAL ENGINEER	
07.28.2020	

SHEET TITLE: TRENCH - C GRADING AND T.E.S.C. PLAN	PHONE: (253) 606-6060
CLIENT: RAVENSDALE LLC	PROJECT: 09-040
41306 90TH AVENUE E	DWG NAME: 09 040 TRENCH C
EATONVILLE, WA 98328	SHEET C10
CONTACT: KURT ERLICKSON	REV. 0
PHONE: (253) 606-6060	10 OF 24

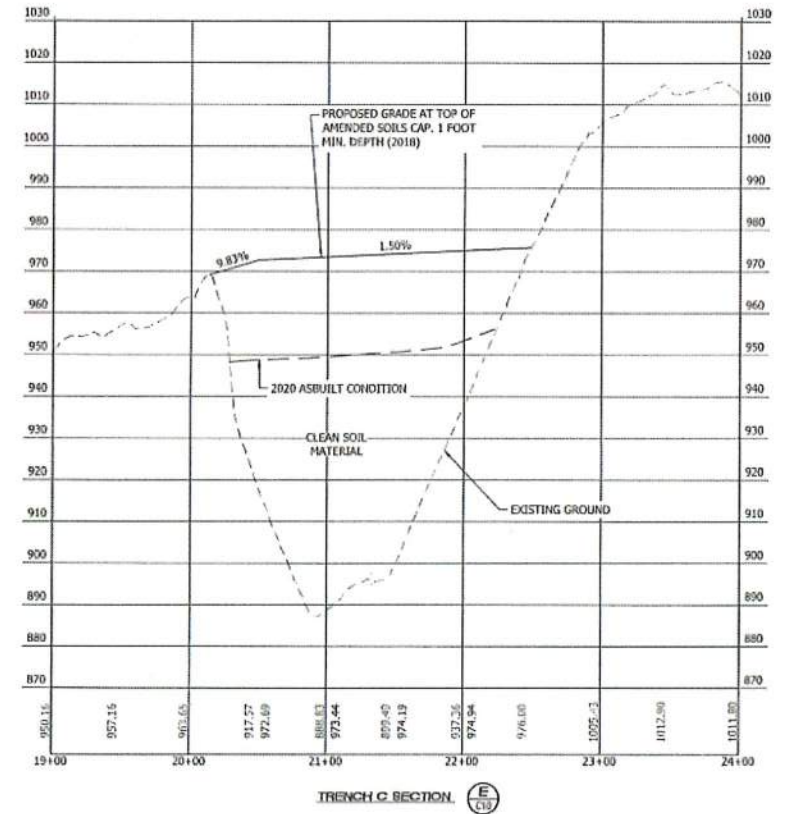
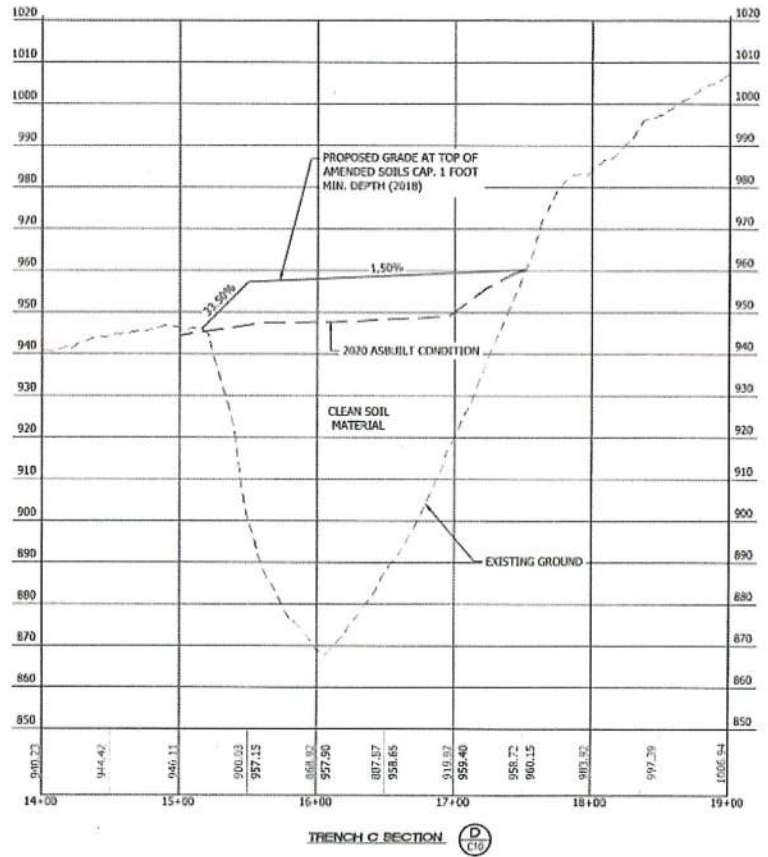
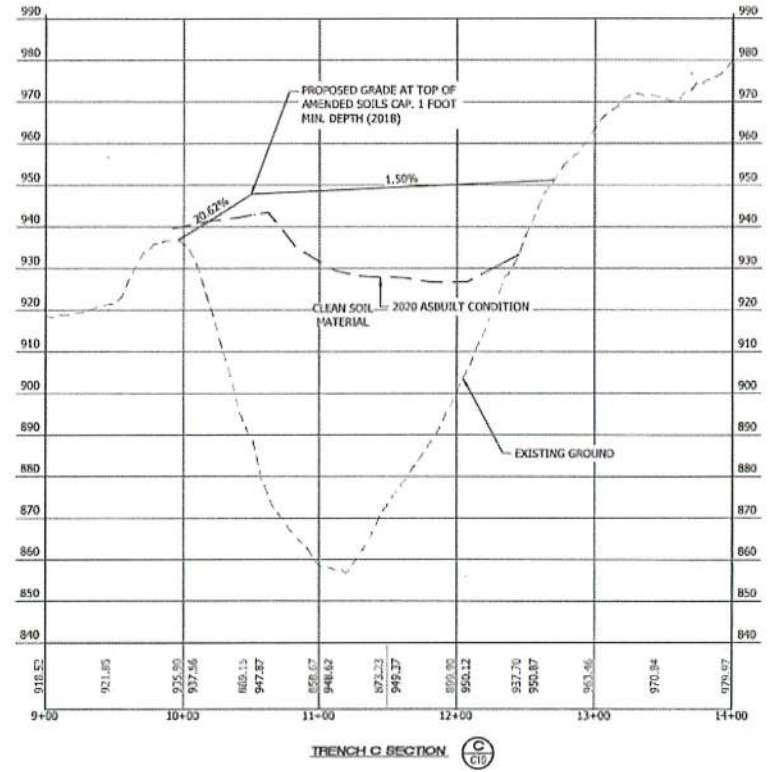


TRENCH C:
 SCALE: 1" = 60' HORIZONTAL
 1" = 20' VERTICAL

PROPOSED IMPORT QUANTITY: 353,397 CY±
 (BANK YARDS)

TOP SOIL: 7,652 CY±*
 *ASSUMING 1' DEPTH

RAVENSDALE TRENCH FILLING
 A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
 KING COUNTY, WASHINGTON
 TRENCH - C



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 PERMIT CONDITIONS
Albato 7/31/2020
 KING COUNTY
 LAND USE SERVICES DIV.

REVISION	DESCRIPTION	DATE	BY

CONTOUR
 ENGINEERING PLLC
 CIVIL ENGINEERS-SURVEYORS-LAND PLANNERS
 3309 56th Street NW, Suite 106 Gig Harbor, WA 98335
 Phone: 253-857-5454 • Fax: 253-509-0044 • info@contourplc.com



07.28.2020
 PHONE: (253) 606-6060

SHEET TITLE: TRACT - C
 RAVENSDALE TRENCH FILLING
 CLIENT: RAVENSDALE LLC
 41306 90TH AVENUE E
 EATONVILLE, WA 98528
 CONTACT: KURT BRICKSON

DESIGNER: J. JACOBY
 ENGINEER: B. ALLEN
 DRAWN: J. JACOBY
 S 1 T 21 N R 6E WM
 DATE: 2020.07.28
 REVISED:

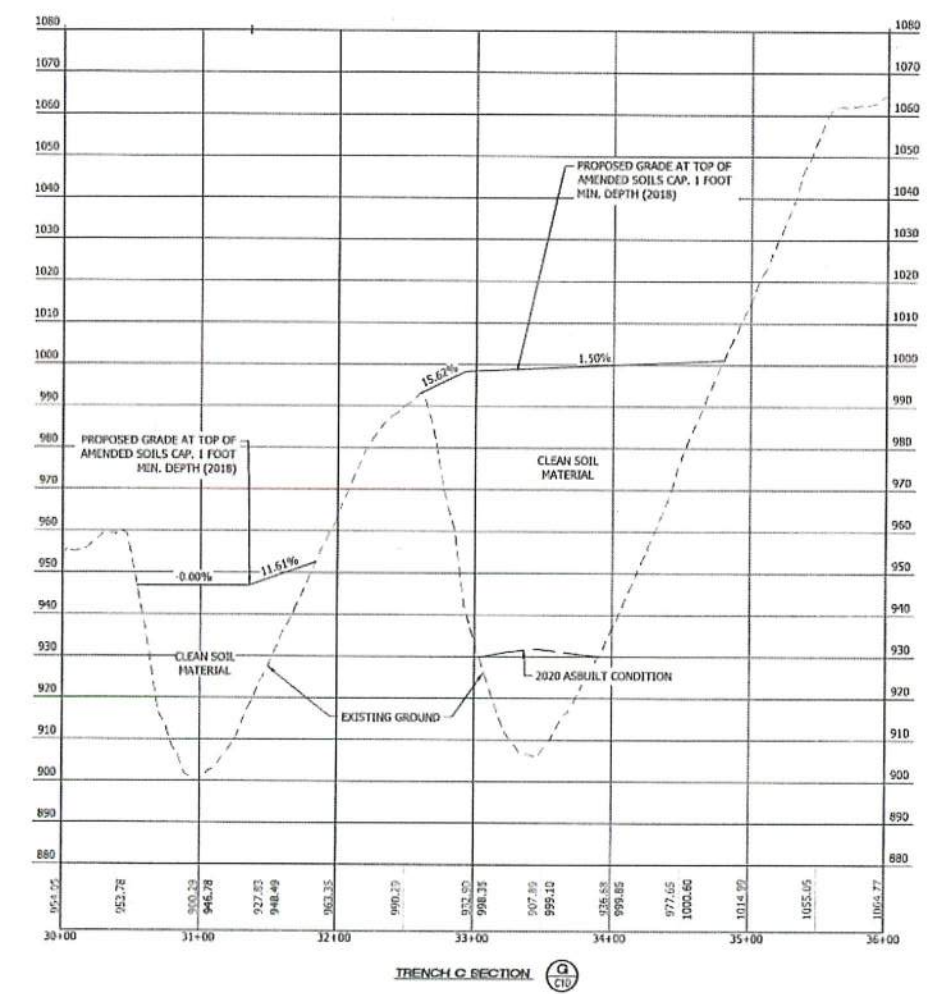
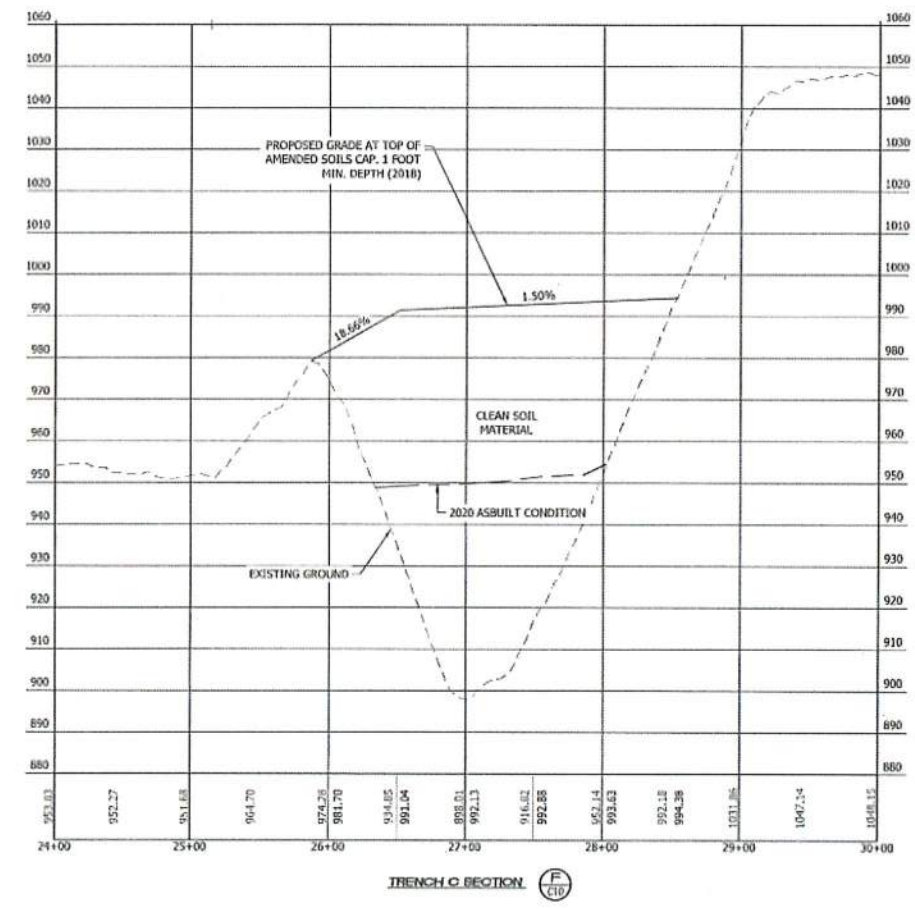
PROJECT: 09-040
 DWG NAME: 09 040 TRENCH C

SHEET	REV.
C11	
11 OF 24	



RAVENSDALE TRENCH FILLING
A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
KING COUNTY, WASHINGTON
TRENCH - C

TRENCH C:
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*ASSUMING 1' DEPTH



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J. Bato 7/31/2020
KING COUNTY
LAND USE SERVICES DIV.

REVISION	DESCRIPTION	DATE	BY

CONTOUR
ENGINEERING, L.L.C.
CIVIL ENGINEERS~SURVEYORS~LAND PLANNERS
3309 56th Street NW, Suite 106 Gig Harbor, WA 98335
Phone: 253-857-5454 • Fax: 253-509-0044 • info@contourplc.com

07.28.2020

PHONE: (253) 606-6060

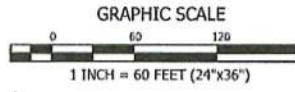
SHEET TITLE: TRACT - C

RAVENSDALE TRENCH FILLING
CLIENT: RAVENSDALE LLC
41306 30TH AVENUE E
EATONVILLE, WA 98528
CONTACT: KURT ERICKSON

DESIGNER: J. JACOBY
ENGINEER: B. ALLEN
DRAWN: J. JACOBY
S 1 T 21 N R 6E WM
DATE: 2020.07.28
REVISED:

PROJECT: 09-010
DWG NAME: 09-010 TRENCH C

SHEET	REV.
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12 OF 24	

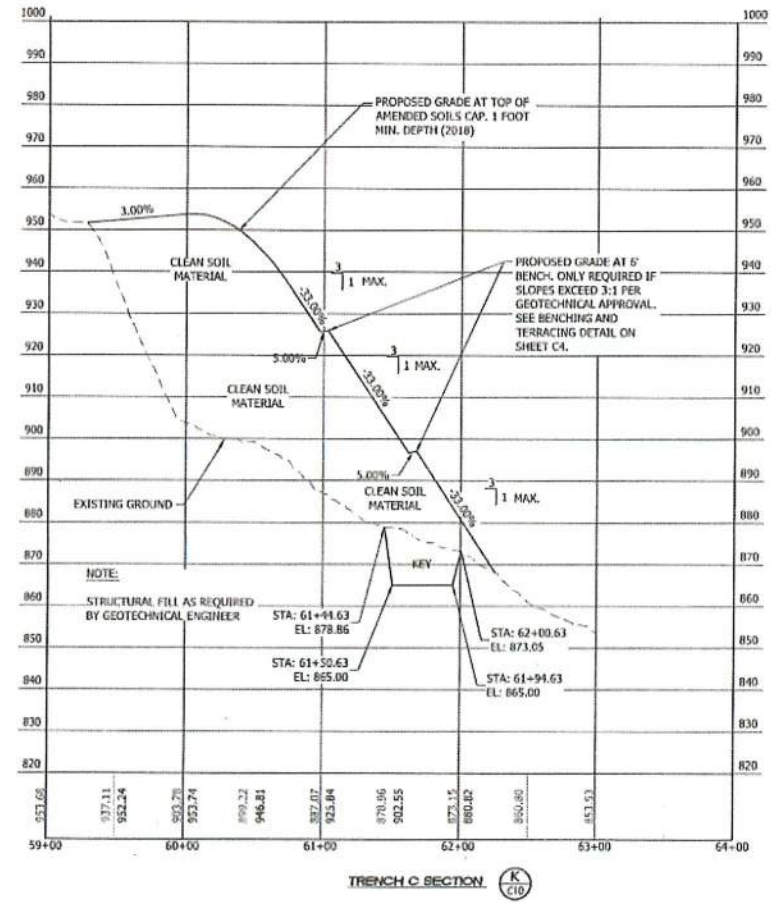
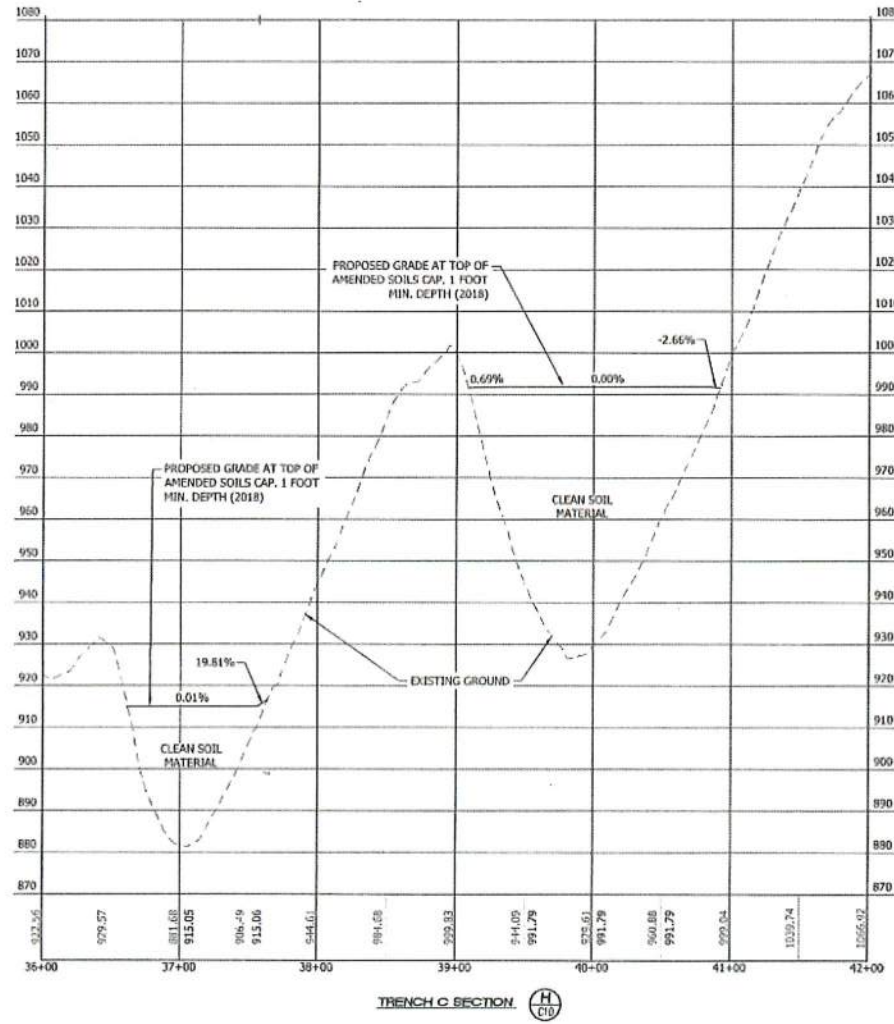


RAVENSDALE TRENCH FILLING
 A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
 KING COUNTY, WASHINGTON
 TRENCH - C

TRENCH C:
 SCALE: 1" = 60' HORIZONTAL
 1" = 20' VERTICAL

PROPOSED IMPORT QUANTITY: 353,397 CY±
 (BANK YARDS)

TOP SOIL: 7,652 CY±*
 *ASSUMING 1' DEPTH

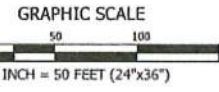


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J. Jacobs 7/31/2020
 KING COUNTY
 LAND USE SERVICES DIV.

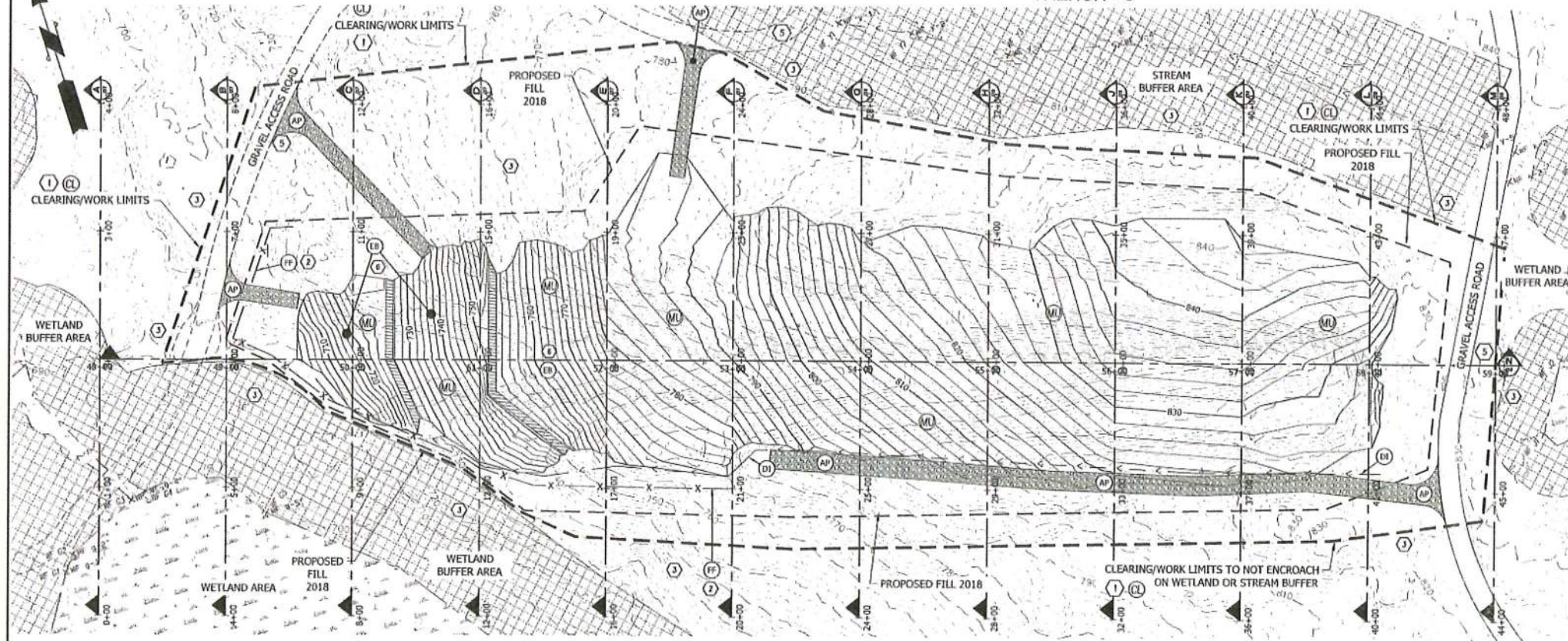
REVISION	DESCRIPTION	DATE	BY

	CONTOUR
	ENGINEERING • LLC
	CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS
	<small>3309 56th Street NW, Suite 106 Gig Harbor, WA 98335 Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourplc.com</small>

SHEET TITLE: TRACT - C	
RAVENSDALE TRENCH FILLING	
CLIENT: RAVENSDALE LLC 41306 90TH AVENUE E EATONVILLE, WA 98328	
CONTACT: KURT ERICSON	
DESIGNER: J. JACOBY	ENGINEER: B. ALLEN
DRAWN: J. JACOBY	
S 1 T 21 N R 6E WM	
DATE: 2020.07.28	
REVISED:	
PROJECT: 09-040	DWG NAME: 09-040 TRENCH C
SHEET	REV.
C13	△
13 OF 24	



RAVENSDALE TRENCH FILLING
 A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
 KING COUNTY, WASHINGTON
 TRENCH - G



- CONSTRUCTION NOTES:**
1. LIMIT OF WORK, CLEARING/GRADING LIMITS AS SHOWN
 2. LOCATE FILTER FABRIC FENCE AS CLOSE TO CLEARING LIMITS AS PRACTICAL.
 3. UNDISTURBED AREAS.
 4. WETLAND BUFFER DO NOT DISTURB.
 5. MAINTAIN EXISTING GRAVEL ACCESS ROAD.
 6. ARMOR PER GEOTECHNICAL ENGINEER REQUIREMENTS.
 7. FIELD LOCATE ACTUAL WETLAND AND BUFFER PRIOR TO ANY FILLING. ADJUST EDGE OF FILL/TOE SLOPE TO KEEP ALL WORK OUTSIDE OF BUFFER.

- PLAN NOTES:**
1. SEE PLANTING NOTES SHEET 10.
 2. 5' WIDE BENCH VERTICAL SEPARATION PER GEOTECHNICAL ENGINEER REQUIREMENTS.
 3. ACTUAL LOCATION OF TOE OF SLOPE VARIES TO ALLOW WORKING AREA/CLEARANCE. TOE OF SLOPE SHALL NOT ENCRUCH INTO WETLAND BUFFER.
 4. ACCESS ROADS SHOW ARE FOR REFERENCE ONLY. LOCATIONS SUBJECT TO BE MODIFIED AS NEEDED FOR FILLING OPERATIONS.
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- TESC LEGEND:**
- AP TEMPORARY ACCESS POINT - AFTER COMPLETION OF PROJECT, ROADBED IS TO BE REMOVED - AREA TO BE HYDROSEEDED & REFORESTED PER FOREST PRACTICE REQUIREMENTS
 - FF FILTER FABRIC FENCE - SEE NOTES AND DETAIL SHEET C4
 - DI ROCK LINED INTERCEPTOR DITCH
 - ML HYDROSEED, FERTILIZER, AND MULCH - SEE NOTES SHEET C3
 - CL CLEARING/CONSTRUCTION LIMITS
 - EB EROSION CONTROL BLANKET

BUFFER RESTORATION NOTE:
 REFER TO SOUNDVIEW CONSULTANTS LLC BUFFER RESTORATION PLAN FOR DETAILS.

- GEOTECHNICAL NOTES**
1. CONTRACTOR SHALL HAVE PERIODIC GEOTECHNICAL REVIEWS OF TRENCH FILL.
 2. NO SLOPES GREATER THAN 3:1 WILL BE ALLOWED WITHOUT PRIOR GEOTECHNICAL APPROVAL PER GEOTECHNICAL RECOMMENDATIONS BY SCICOLE CREEK ENGINEERS.
 3. BENCHES SHOWN ON PLANS MAY BE ELIMINATED IF SLOPES ARE 3:1 OR LESS AND WITH GEOTECHNICAL APPROVAL AND INSPECTION.
 4. ANY CHANGES TO SLOPE SHOULD BE FULLY REVIEWS AND INSPECTED BY GEOTECHNICAL ENGINEERS.

TRENCH G:
 SCALE: 1" = 50' HORIZONTAL
 1" = 25' VERTICAL

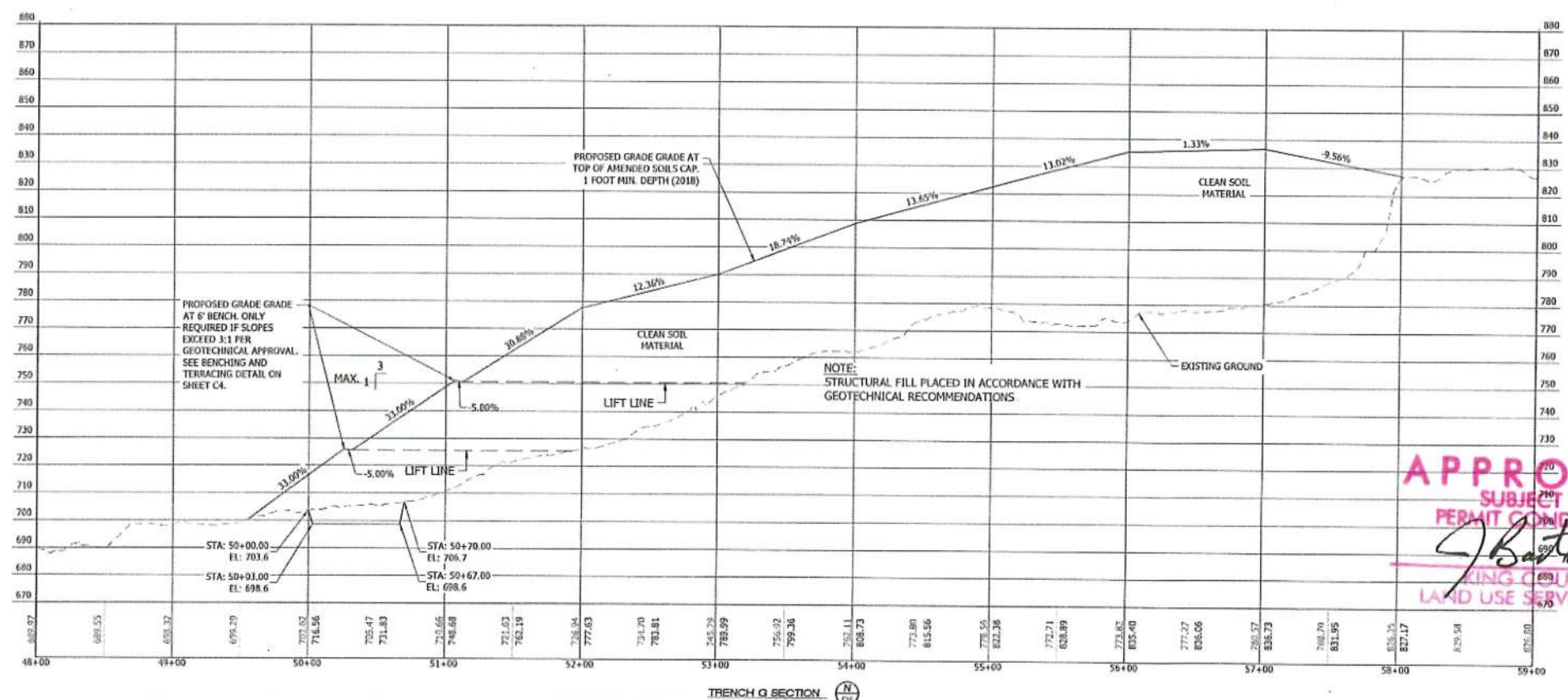
PROPOSED GRADE IMPORT QUANTITY: 107,914 CY±
 (BANK YARDS)

TOP SOIL: 5,544 CY±*
 *ASSUMING 1' DEPTH

APPROVED
 SUBJECT TO PERMIT CONDITIONS
Boato 7/31/2020
 KING COUNTY LAND USE SERVICES DIV.

VERIFICATION NOTE
 ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED GRADE CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.
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DATE		BY	
DESCRIPTION		REVISION	

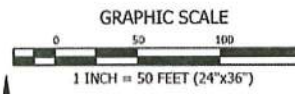
CONTOUR ENGINEERING, LLC
 ENGINEERS-SURVEYORS-LAND PLANNERS
 CIVIL ENGINEERS
 3309 96th Street NW, Suite 106 Gig Harbor, WA 98335
 Phone: 253-857-5454 • Fax: 253-509-0044 • info@contourplc.com

BOB M. ALLEN
 P.E.
 REGISTERED PROFESSIONAL ENGINEER
 07.29.2020

SHEET TITLE: TRACT - G GRADING AND T.E.S.C. PLAN
 PROJECT: RAVENSDALE TRENCH FILLING
 CLIENT: RAVENSDALE LLC
 41306 90TH AVENUE E
 EATONVILLE, WA 98328
 CONTACT: KURT ERICKSON
 PHONE: (253) 605-6060

DESIGNER: J. JACOBY
 ENGINEER: B ALLEN
 DRAWN: J. JACOBY
 S 1 T 21 N R 6E W4
 DATE: 10/20/20
 REVISED:

PROJECT: 09-040	DWG NAME: 09-040-TRENCH-G
SHEET: C16	REV: 0
16 OF 24	

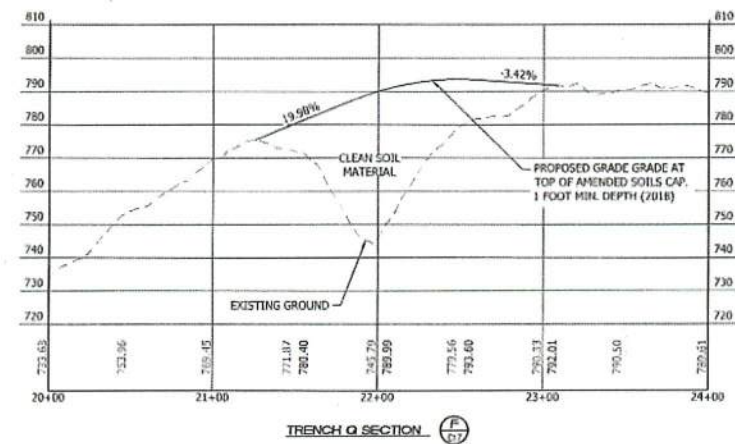
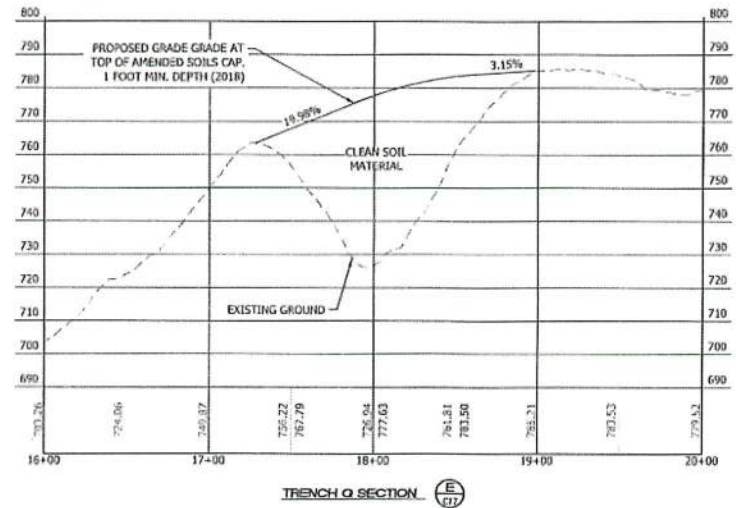
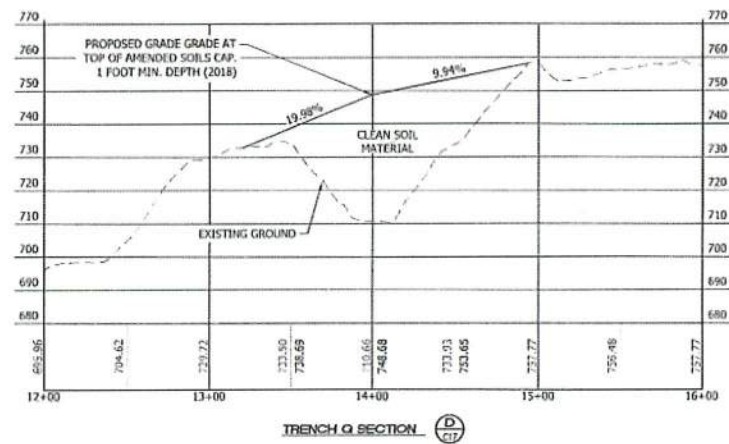
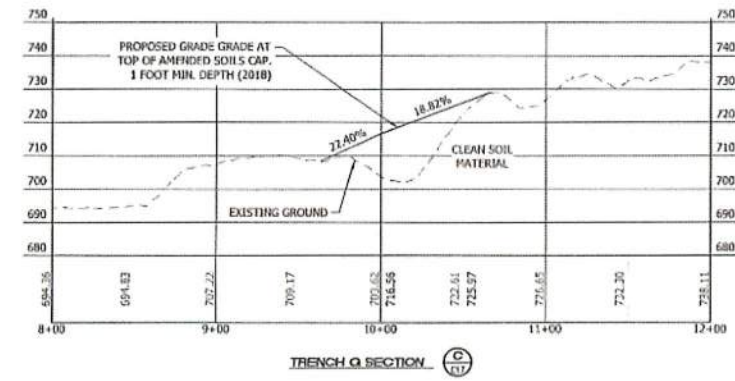
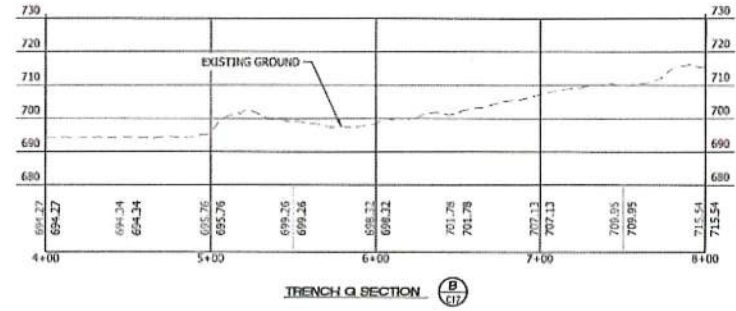
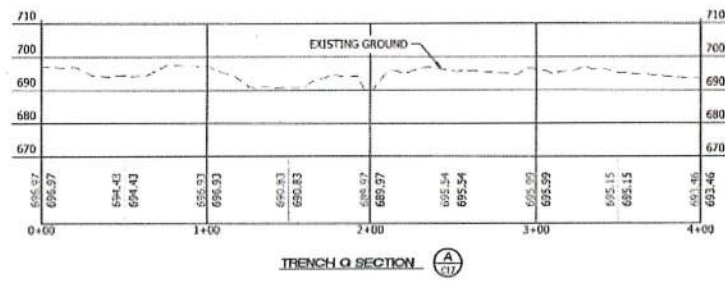


TRENCH G:
 SCALE: 1" = 50' HORIZONTAL
 1" = 25' VERTICAL

PROPOSED GRADE IMPORT QUANTITY: 107,914 CY±
 (BANK YARDS)

TOP SOIL: 5,544 CY±*
 *ASSUMING 1' DEPTH

RAVENSDALE TRENCH FILLING
 A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
 KING COUNTY, WASHINGTON
 TRENCH - G



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 SUBJECT TO PERMIT CONDITIONS
[Signature] 7/31/2020
 KING COUNTY
 LAND USE SERVICES DIV.

REVISION	DESCRIPTION	DATE	BY

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 CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS
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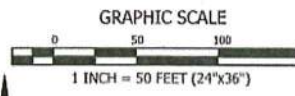
SHEET TITLE: TRACT - G
 RAVENSDALE TRENCH FILLING
 CLIENT: RAVENSDALE LLC
 41306 90TH AVENUE E
 EATONVILLE, WA 98328
 CONTACT: KURT ERICKSON
 PHONE: (253) 606-6060

DESIGNER: J. JACOBY
 ENGINEER: B. ALLEN
 DRAWN: J. JACOBY
 S 1 T 21 NR 6E WM
 DATE: 2020.07.28
 REVISION:

PROJECT: 09-040
 DWG NAME: 09-040-TRENCH-G

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17 OF 24	

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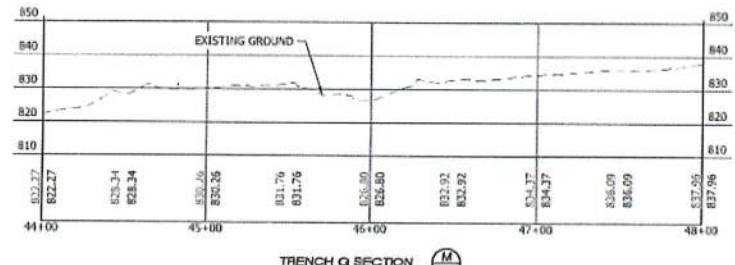
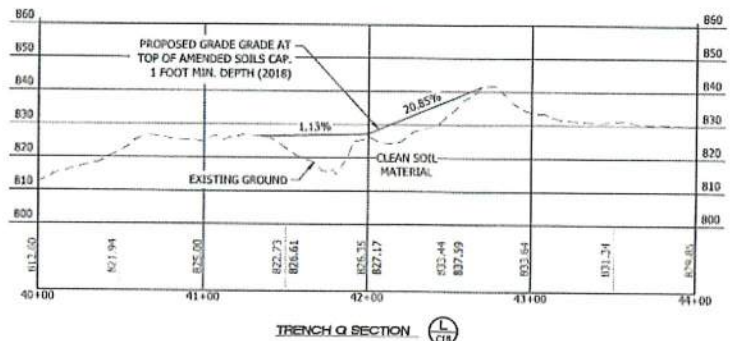
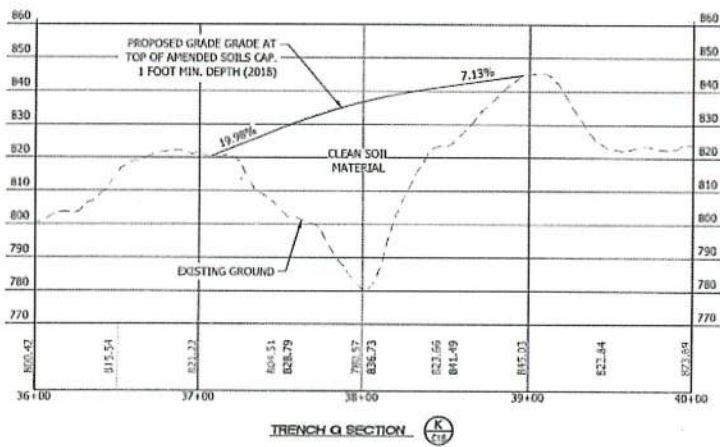
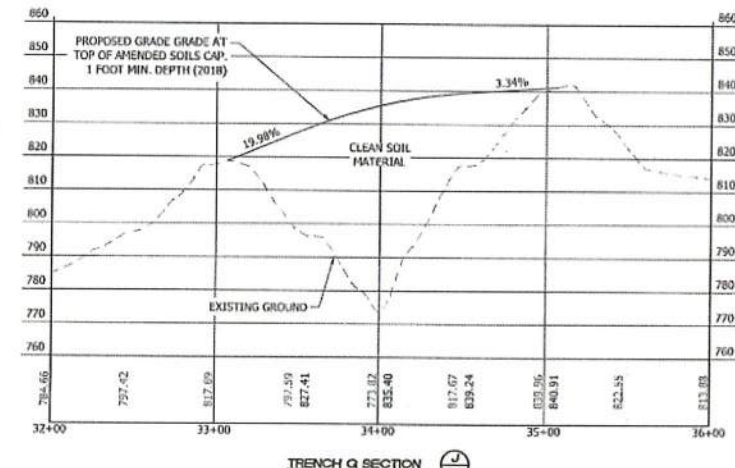
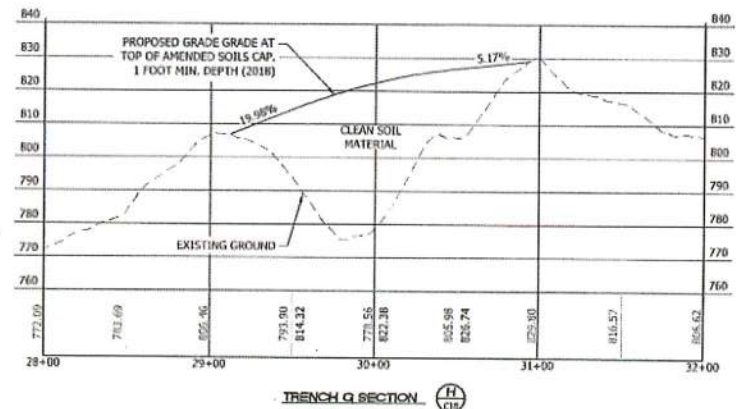
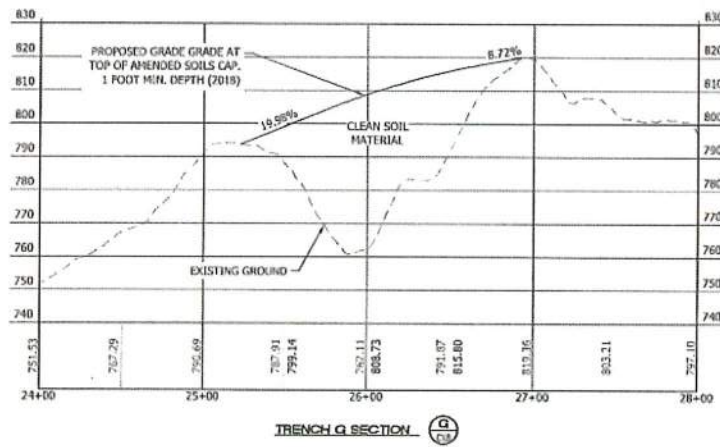


RAVENSDALE TRENCH FILLING
 A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
 KING COUNTY, WASHINGTON
 TRENCH - G

TRENCH G:
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J. Jacobs 7/31/2020
 KING COUNTY
 LAND USE SERVICES DIV.

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 Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourpllc.com



SHEET TITLE: TRACT - G

RAVENSDALE TRENCH FILLING
 CLIENT: RAVENSDALE LLC
 41305 90TH AVENUE E
 EATONVILLE, WA 98228
 CONTACT: KURT ELLISON
 PHONE: (253) 606-6060

DESIGNER: J. JACOBY
 ENGINEER: B. ALLEN
 DRAWN: J. JACOBY
 S 1 T 21 N R 6E WM
 DATE: 2020.07.28
 REVISED:

PROJECT: 09-010
 DWG NAME: 09 040 TRENCH G

SHEET	REV.
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18 OF 24

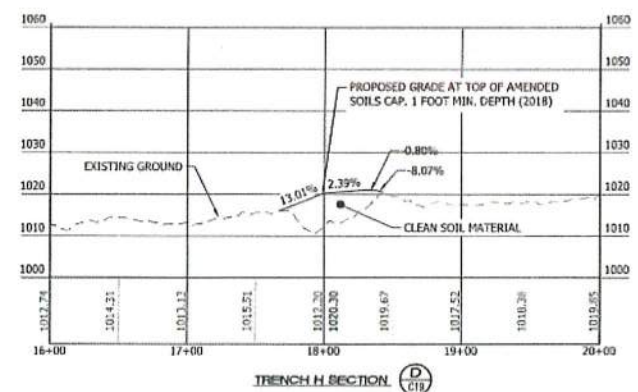
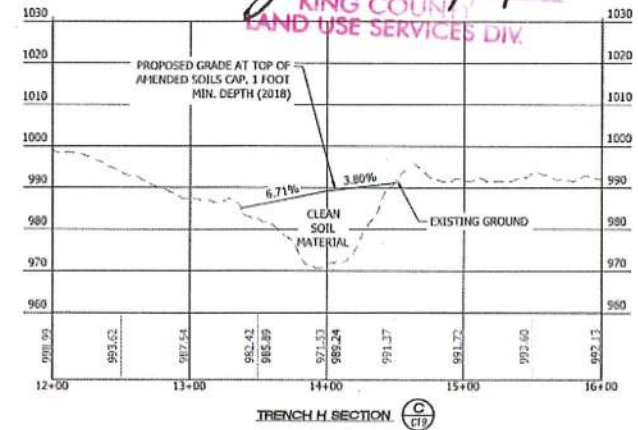
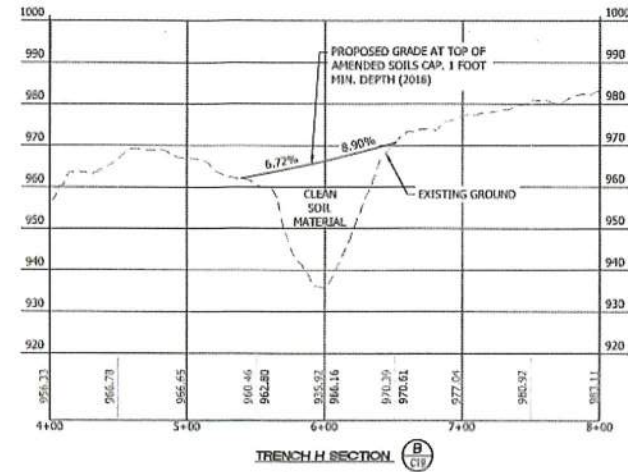
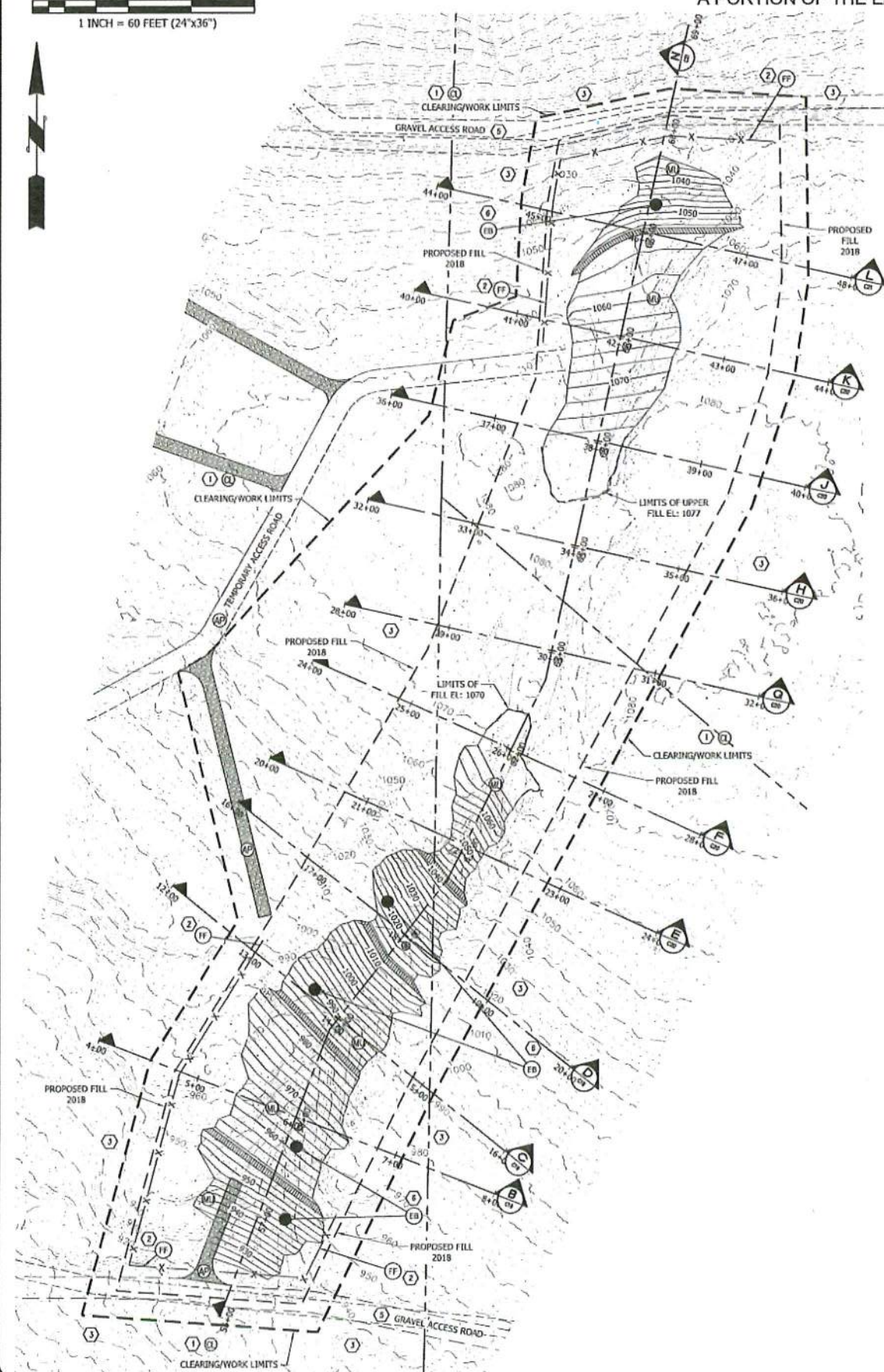
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GRAPHIC SCALE



RAVENSDALE TRENCH FILLING
A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
KING COUNTY, WASHINGTON
TRENCH - H

APPROVED
SUBJECT TO
PERMIT CONDITIONS
J. Bate 7/31/2020
KING COUNTY
LAND USE SERVICES DIV.



CONSTRUCTION NOTES:

- 1 LIMIT OF WORK, CLEARING/GRADING LIMITS AS SHOWN
- 2 LOCATE FILTER FABRIC FENCE AS CLOSE TO CLEARING LIMITS AS PRACTICAL.
- 3 UNDISTURBED AREAS.
- 4 WETLAND BUFFER DO NOT DISTURB.
- 5 MAINTAIN EXISTING GRAVEL ACCESS ROAD.
- 6 ARMOR PER GEOTECHNICAL ENGINEER REQUIREMENTS.
- 7 FIELD LOCATE ACTUAL WETLAND AND BUFFER PRIOR TO ANY FILLING. ADJUST EDGE OF FIL/TOE SLOPE TO KEEP ALL WORK OUTSIDE OF BUFFER.

PLAN NOTES:

1. SEE PLANTING NOTES SHEET C3.
2. 5' WIDE BENCH VERTICAL SEPARATION PER GEOTECHNICAL ENGINEER REQUIREMENTS.
3. ACTUAL LOCATION OF TOP OF SLOPE VARIES TO ALLOW WORKING AREA/CLEARANCE. TOE OF SLOPE SHALL NOT ENDOCHAD INTO WETLAND BUFFER.
4. ACCESS ROADS SHOW ARE FOR REFERENCE ONLY. LOCATIONS SUBJECT TO BE MODIFIED AS NEEDED FOR FILLING OPERATIONS.
5. ALL CONSTRUCTION ENTRANCES AND NEW ACCESS POINTS ASSOCIATED WITH THIS PROJECT ARE TO BE RESTORED TO THE ORIGINAL CONDITION AFTER CONSTRUCTION HAS ENDED.

TESC LEGEND:

- (AP) TEMPORARY ACCESS POINT - AFTER COMPLETION OF PROJECT, ROADBED IS TO BE REMOVED - AREA TO BE HYDROSEED & REFORESTED PER FOREST PRACTICE REQUIREMENTS
- (FF) FILTER FABRIC FENCE - SEE NOTES AND DETAIL SHEET C4
- (DI) ROCK LINED INTERCEPTOR DITCH
- (M) HYDROSEED, FERTILIZER, AND MULCH - SEE NOTES SHEET C3
- (CL) CLEARING/CONSTRUCTION LIMITS
- (EB) EROSION CONTROL BLANKET

QUARRY SPALL NOTE

QUARRY SPALLS UTILIZED FOR "ROCK LINING" FOR INTERCEPTOR DITCHES SHALL MEET THE FOLLOWING GRADATION:

- PASSING 8-INCH SQUARE SIEVE 100%
- PASSING 3-INCH SQUARE SIEVE 40-60% MAX
- PASSING 3/4-INCH SQUARE SIEVE 0-10% MAX

TRENCH H:
SCALE: 1" = 60' HORIZONTAL
1" = 20' VERTICAL

PROPOSED IMPORT QUANTITY: 21,196 CY±
(BANK YARDS)

TOP SOIL: 2,916 CY±*
*ASSUMING 1' DEPTH

GEOTECHNICAL NOTES

1. CONTRACTOR SHALL HAVE PERIODIC GEOTECHNICAL REVIEWS OF TRENCH FILL.
2. NO SLOPES GREATER THAN 3:1 WILL BE ALLOWED WITHOUT PRIOR GEOTECHNICAL APPROVAL PER GEOTECHNICAL RECOMMENDATIONS BY ICI/OLE CREEK ENGINEERS.
3. BENCHES SHOWN ON PLANS MAY BE ELIMINATED IF SLOPES ARE 3:1 OR LESS AND WITH GEOTECHNICAL APPROVAL AND INSPECTION.
4. ANY CHANGES TO SLOPE SHOULD BE FULLY REVIEWS AND INSPECTED BY GEOTECHNICAL ENGINEERS.

VERIFICATION NOTE

ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES, CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG

REVISION	DATE	DESCRIPTION

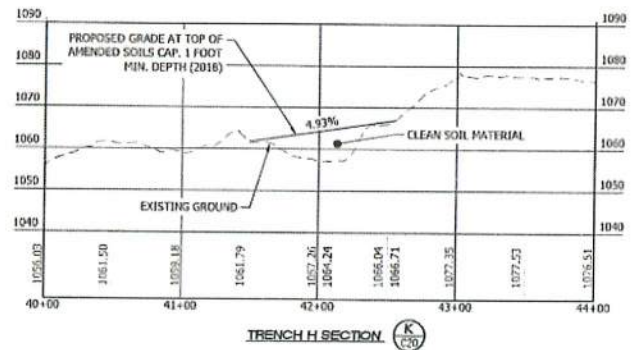
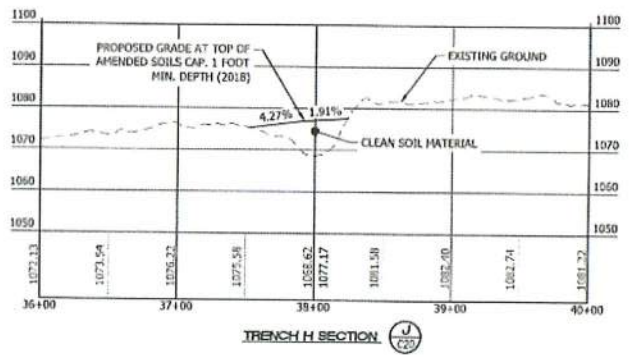
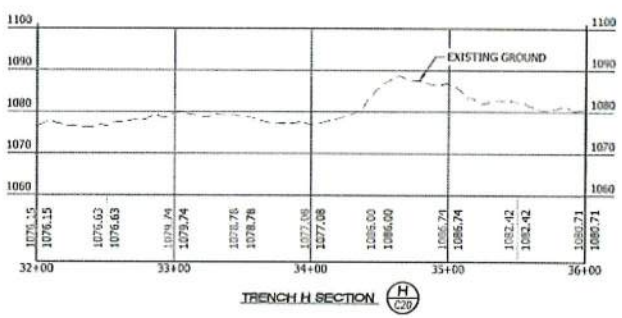
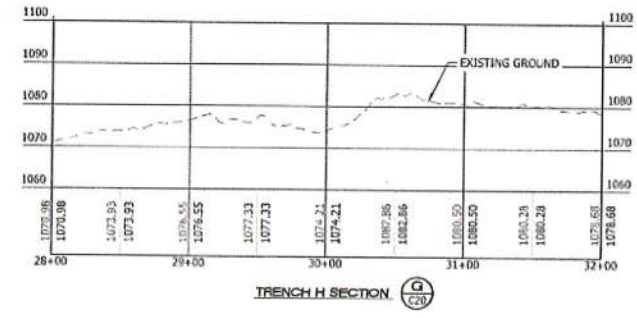
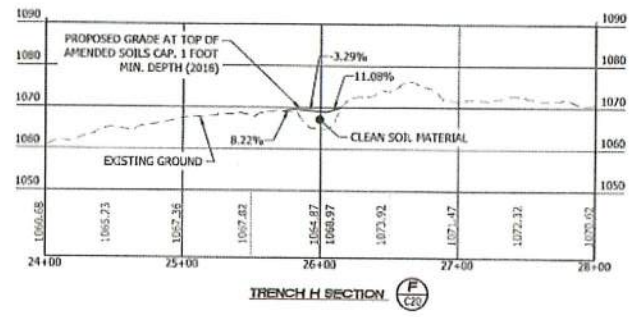
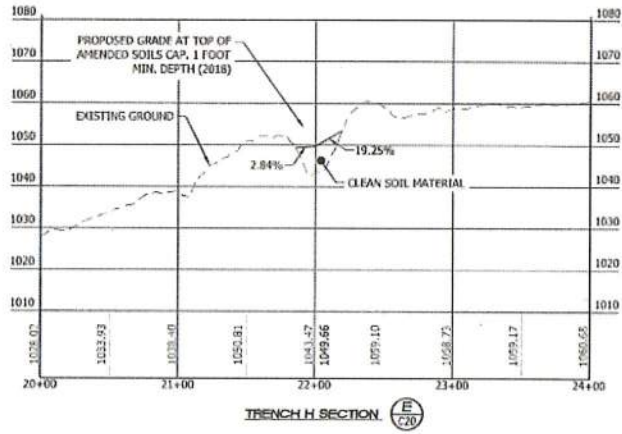
<p>CONTOUR ENGINEERING, LLC CIVIL ENGINEERS~SURVEYORS~LAND PLANNERS 3309 56th Street NW, Suite 106 Gig Harbor, WA 98335 Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourpllc.com</p>	<p>07.28.2020</p>
	<p>DESIGNER: J. JACOBY ENGINEER: B. ALLEN DRAWN: J. JACOBY S 1 T 21 N R 6E WM DATE: 2020.07.28 REVISED:</p>
<p>SHEET TITLE: TRENCH - H GRADING AND T.E.S.C. PLAN RAVENSDALE TRENCH FILLING CLIENT: RAVENSDALE LLC 41305 90TH AVENUE E EATONVILLE, WA 98228 CONTACT: KURT BRUCKSON PHONE: (253) 656-6066</p>	<p>PROJECT: 09-010 DWG NAME: 09 040 TRENCH H</p>
<p>SHEET C19</p>	<p>REV. 19 OF 24</p>



RAVENSDALE TRENCH FILLING
 A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
 KING COUNTY, WASHINGTON
 TRENCH - H

TRENCH H:
 SCALE: 1" = 60' HORIZONTAL
 1" = 20' VERTICAL
 PROPOSED IMPORT QUANTITY: 21,196 CY±
 (BANK YARDS)
 TOP SOIL: 2,916 CY±*
 *ASSUMING 1' DEPTH

APPROVED
 SUBJECT TO PERMIT CONDITIONS
S. Burt 7/31/2020
 KING COUNTY
 LAND USE SERVICES DIV.



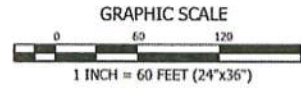
VERIFICATION NOTE
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 PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES, CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG

REVISION	DESCRIPTION	DATE	BY

<p>CONTOUR ENGINEERING • L.L.C. CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS 3909 56th Street NW, Suite 106 Gig Harbor, WA 98335 Phone: 253-557-5454 ~ Fax: 253-595-0044 ~ info@contourplc.com</p>	<p>07.28.2020</p>
<p>SHEET TITLE: TRACT - H RAVENSDALE TRENCH FILLING CLIENT: RAVENSDALE LLC 41306 90TH AVENUE E EATONVILLE, WA 98328 CONTACT: KURT ERICKSON PHONE: (253) 605-6060</p>	<p>DESIGNER: J. JACOBY ENGINEER: B. ALLEN DRAWN: J. JACOBY S 1 T 21 N R 6E WM DATE: 2020.07.28 REVISED:</p>
<p>PROJECT: 09-010 DWG NAME: 09_010 TRENCH H</p>	<p>PROJECT: 09-010 DWG NAME: 09_010 TRENCH H</p>
<p>SHEET: C20</p>	<p>REV. 0</p>
<p>20 OF 24</p>	

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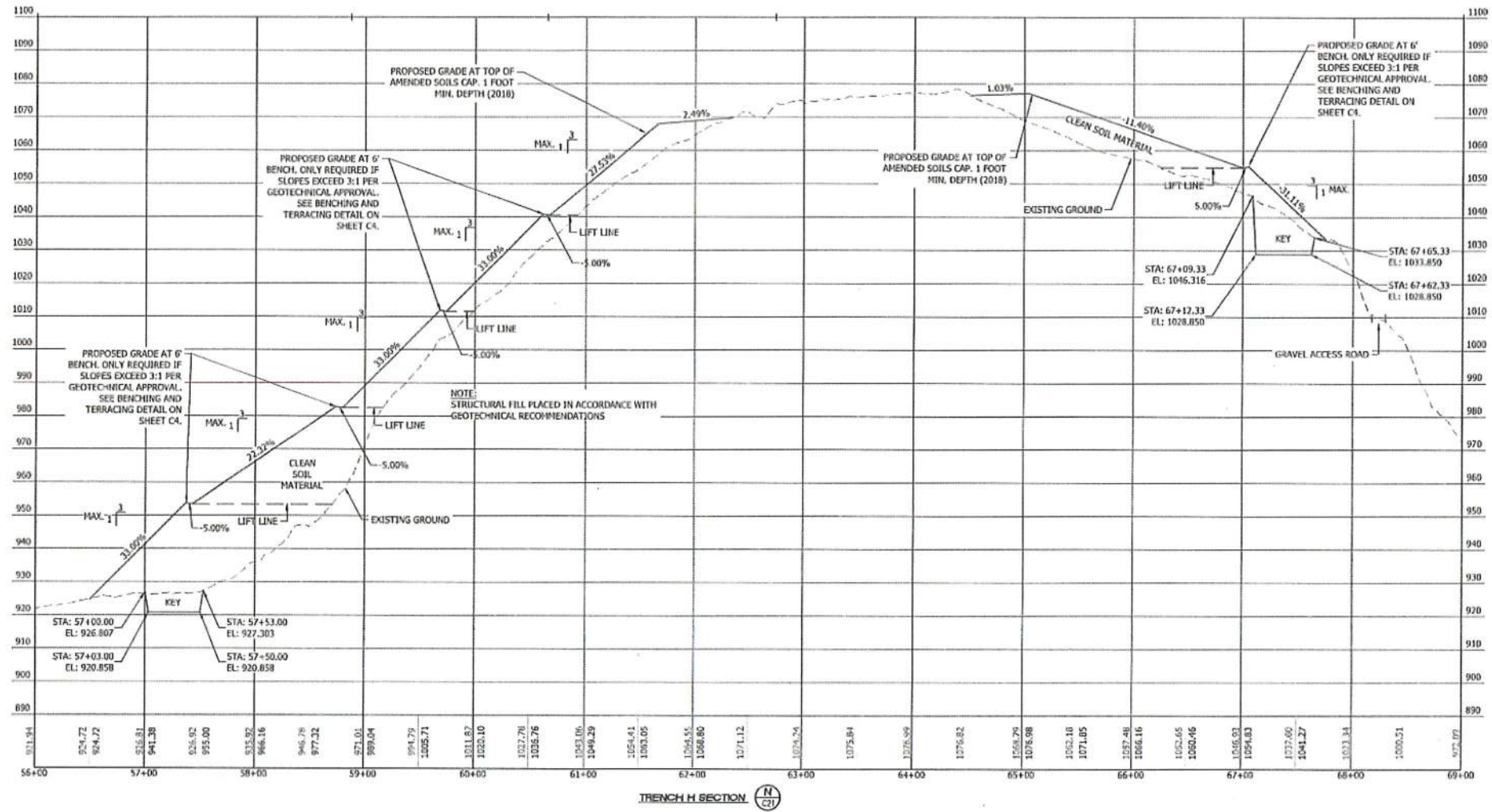
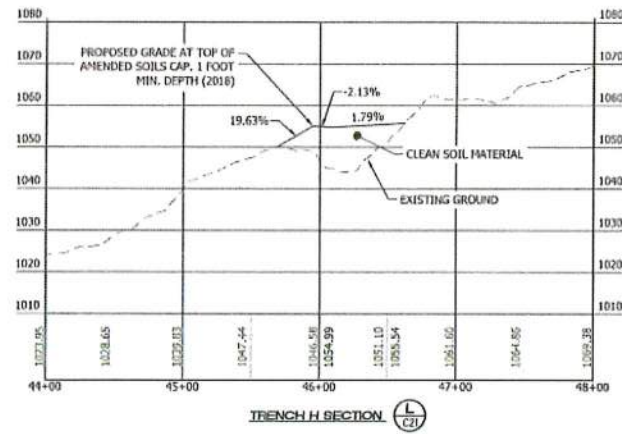


RAVENSDALE TRENCH FILLING
 A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
 KING COUNTY, WASHINGTON
 TRENCH - H

TRENCH H:
 SCALE: 1" = 60' HORIZONTAL
 1" = 20' VERTICAL

PROPOSED IMPORT QUANTITY: 21,196 CY±
 (BANK YARDS)

TOP SOIL: 2,916 CY±*
 *ASSUMING 1' DEPTH



APPROVED
 SUBJECT TO
 PERMIT CONDITIONS
J. Jacobs 7/31/2020
 KING COUNTY
 LAND USE SERVICES DIV.

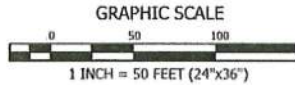
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PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES, CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

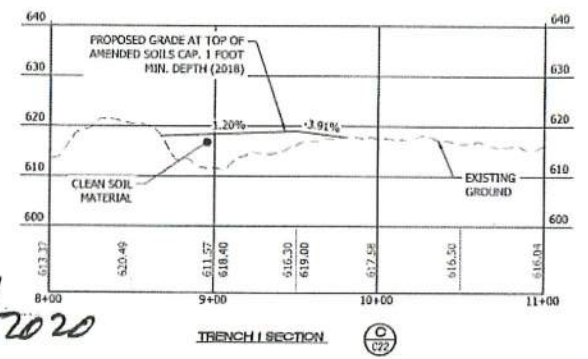
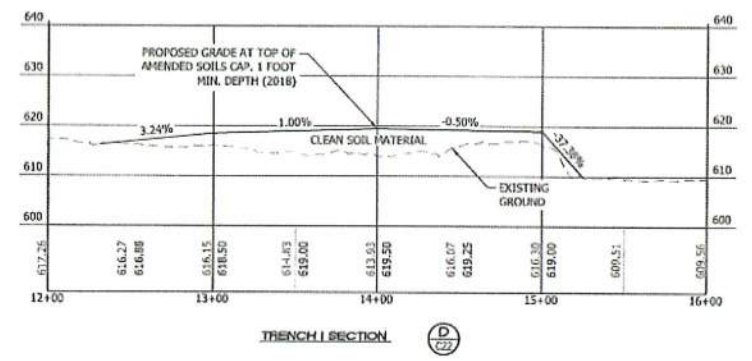
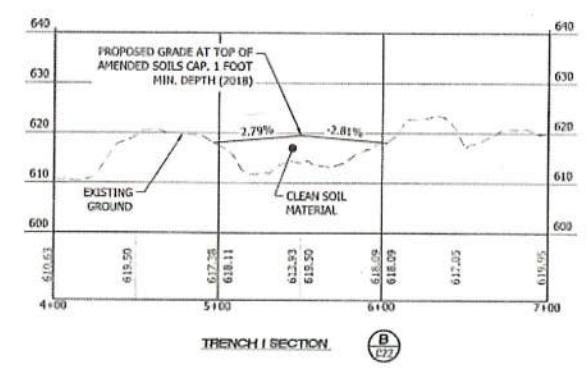
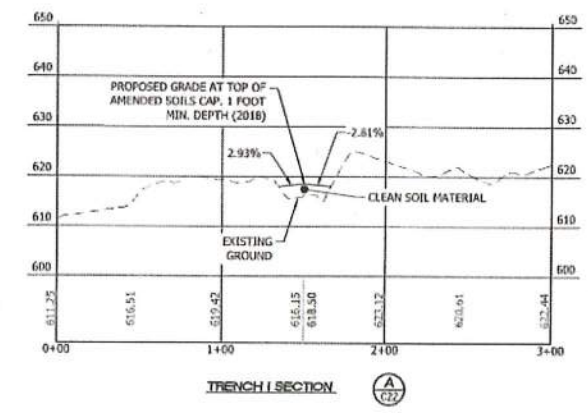
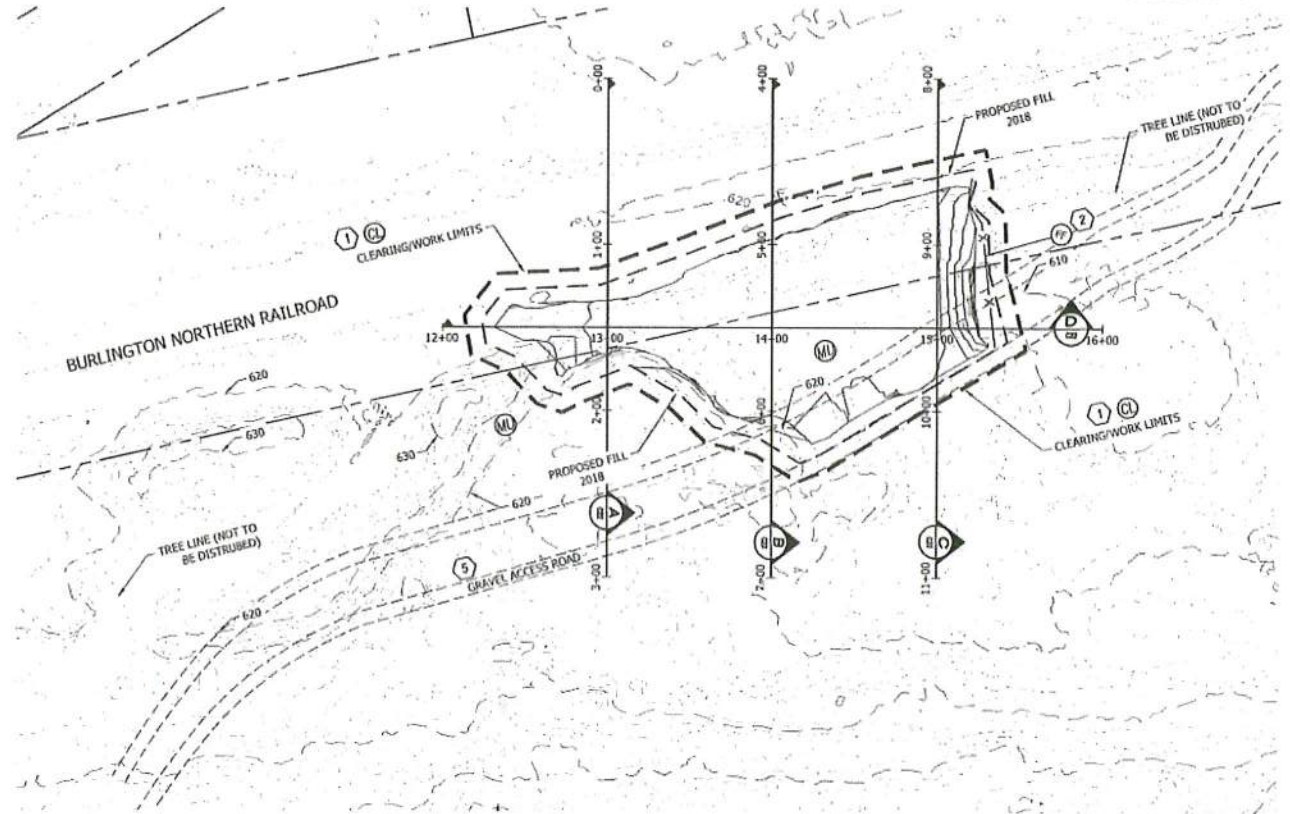
CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG

REVISION	DESCRIPTION	DATE	BY

CONTOUR ENGINEERING, L.L.C. CIVIL ENGINEERS & SURVEYORS & LAND PLANNERS 3309 56th Street NW, Suite 105, Everett, WA 98235 Phone: 253-857-9454 • Fax: 253-509-0044 • info@contourplc.com	
	07.28.2020
SHEET TITLE: TRACT - H	PROJECT: 09-040
RAVENSDALE TRENCH FILLING	DWG NAME: 09-040 TRENCH H
CLIENT: RAVENSDALE LLC 41306 90TH AVENUE E EATONVILLE, WA 98328	DESIGNER: J. JACOBY ENGINEER: B ALLEN DRAWN: J. JACOBY S 1 T 21 N R 6E WM DATE: 2020.07.28 REVISED:
CONTACT: KURT BRICKSON PHONE: (253) 606-6060	SHEET: C21 21 OF 24



RAVENSDALE TRENCH FILLING
A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
KING COUNTY, WASHINGTON
TRENCH - I



- GEOTECHNICAL NOTES**
- CONTRACTOR SHALL HAVE PERIODIC GEOTECHNICAL REVIEWS OF TRENCH FILL.
 - NO SLOPES GREATER THAN 3:1 WILL BE ALLOWED WITHOUT PRIOR GEOTECHNICAL APPROVAL PER GEOTECHNICAL RECOMMENDATIONS BY KICKE CREEK ENGINEERS.
 - TRENCHES SHOWN ON PLANS MAY BE ELIMINATED IF SLOPES ARE 3:1 OR LESS AND WITH GEOTECHNICAL APPROVAL AND INSPECTION.
 - ANY CHANGES TO SLOPE SHOULD BE FULLY REVIEWS AND INSPECTED BY GEOTECHNICAL ENGINEERS.
- QUARRY SPALL NOTE**
- QUARRY SPALLS UTILIZED FOR "ROCK LINING" FOR INTERCEPTOR DITCHES SHALL MEET THE FOLLOWING GRADATION:
- PASSING 8-INCH SQUARE SIEVE 100%
 - PASSING 3-INCH SQUARE SIEVE 40-60% MAX
 - PASSING 3/4-INCH SQUARE SIEVE 0-10% MAX

- TESC LEGEND:**
- (AP) TEMPORARY ACCESS POINT - AFTER COMPLETION OF PROJECT, ROADWAY IS TO BE REMOVED - AREA TO BE HYDROSEED & REFORESTED PER FOREST PRACTICE REQUIREMENTS
 - (FF) FILTER FABRIC FENCE - SEE NOTES AND DETAIL SHEET C4
 - (DL) ROCK LINED INTERCEPTOR DITCH
 - (MH) HYDROSEED, FERTILIZER, AND MULCH SEE NOTES SHEET C3
 - (CL) CLEARING/CONSTRUCTION LIMITS
 - (EC) EROSION CONTROL BLANKET

- CONSTRUCTION NOTES:**
- LIMIT OF WORK, CLEARING/GRADING LIMITS AS SHOWN
 - LOCATE FILTER FABRIC FENCE AS CLOSE TO CLEARING LIMITS AS PRACTICAL.
 - UNDISTURBED AREAS.
 - WETLAND BUFFER DO NOT DISTURB.
 - MAINTAIN EXISTING GRAVEL ACCESS ROAD.
 - ARMOR PER GEOTECHNICAL ENGINEER REQUIREMENTS.
 - FIELD LOCATE ACTUAL WETLAND AND BUFFER PRIOR TO ANY FILLING. ADJUST EDGE OF FILL/TOE SLOPE TO KEEP ALL WORK OUTSIDE OF BUFFER.

- PLAN NOTES:**
- SEE PLANTING NOTES SHEET C3.
 - 5' WIDE BENCH VERTICAL SEPARATION PER GEOTECHNICAL ENGINEER REQUIREMENTS.
 - ACTUAL LOCATION OF TOE OF SLOPE VARIES TO ALLOW WORKING AREA/CLEARANCE. TOE OF SLOPE SHALL NOT ENCRUCH INTO WETLAND BUFFER.
 - ACCESS ROADS SHOW ARE FOR REFERENCE ONLY. LOCATIONS SUBJECT TO BE MODIFIED AS NEEDED FOR FILLING OPERATIONS.
 - ALL CONSTRUCTION ENTRANCES AND NEW ACCESS POINTS ASSOCIATED WITH THIS PROJECT ARE TO BE RESTORED TO THE ORIGINAL CONDITION AFTER CONSTRUCTION HAS ENDED.

APPROVED
SUBJECT TO
PERMIT CONDITIONS
J. Kato 7/31/2020
KING COUNTY
LAND USE SERVICES DIV.

TRENCH I:
SCALE: 1" = 50' HORIZONTAL
1" = 17.5' VERTICAL

PROPOSED IMPORT QUANTITY: 2,632 CY±
(BANK YARDS)

TOP SOIL: 850 CY±*
*ASSUMING 1' DEPTH

VERIFICATION NOTE

ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

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CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG

DATE	BY

REVISION	DESCRIPTION

CONTOUR
E. N. G. L. N. E. R. L. N. G. L. L. C.
CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS
3909 56th Street NW, Suite 106 Gig Harbor, WA 98335
Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourpllc.com

BERT M. ALLEN
REGISTERED PROFESSIONAL ENGINEER
NOVEMBER 1988
STATE OF WASHINGTON
07.28.2020

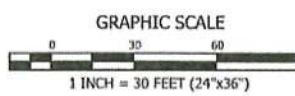
SHEET TITLE: TRENCH - I GRADING AND T.E.S.C. PLAN
CLIENT: RAVENSDALE LLC
41306 90TH AVENUE E
EATONVILLE, WA 98228
CONTACT: KURT ERICKSON
PHONE: (253) 605-6060

DESIGNER: J. JACOBY
ENGINEER: B. ALLEN
DRAWN: J. JACOBY
S 1 T 21 N R 6E WM
DATE: 2020.07.28
REVISED:

PROJECT: 09-040
DWG NAME: 09-040-TRENCH I

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22 OF 24

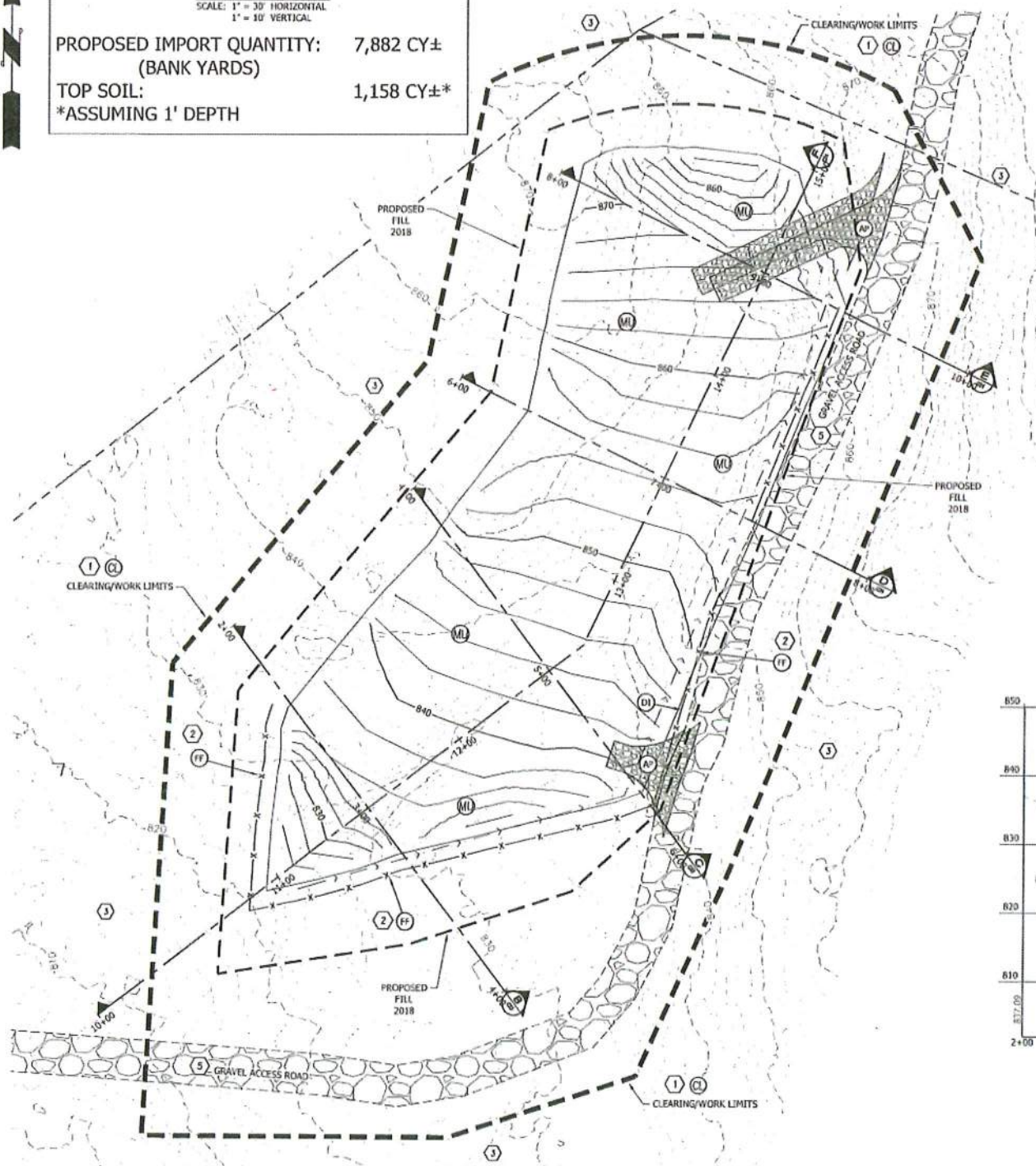


RAVENSDALE TRENCH FILLING
 A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
 KING COUNTY, WASHINGTON
 TRENCH - J

TRENCH J:
 SCALE: 1" = 30' HORIZONTAL
 1" = 10' VERTICAL

PROPOSED IMPORT QUANTITY: 7,882 CY±
 (BANK YARDS)

TOP SOIL: 1,158 CY±*
 *ASSUMING 1' DEPTH



- CONSTRUCTION NOTES:**
1. LIMIT OF WORK, CLEARING/GRADING LIMITS AS SHOWN
 2. LOCATE FILTER FABRIC FENCE AS CLOSE TO CLEARING LIMITS AS PRACTICAL.
 3. UNDISTURBED AREAS.
 4. WETLAND BUFFER DO NOT DISTURB.
 5. MAINTAIN EXISTING GRAVEL ACCESS ROAD.
 6. ARMOR PER GEOTECHNICAL ENGINEER REQUIREMENTS.
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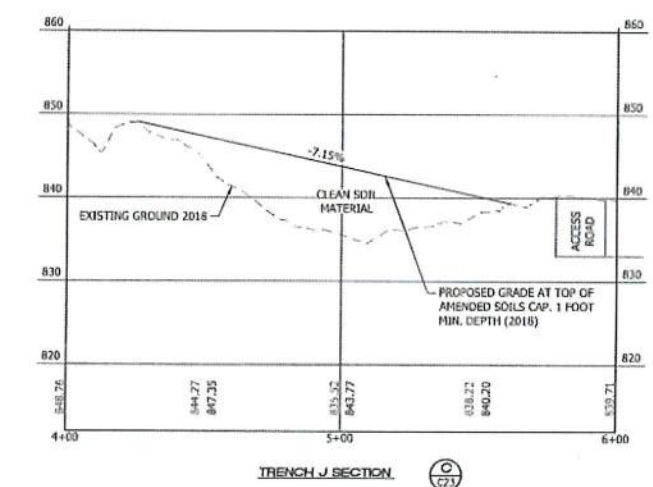
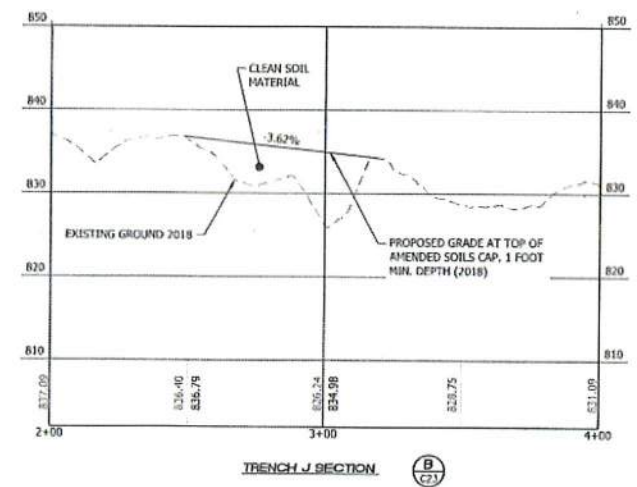
- TESC LEGEND:**
- AP: TEMPORARY ACCESS POINT - AFTER COMPLETION OF PROJECT, ROADBED IS TO BE REMOVED - AREA TO BE HYDROSEEDED & REFORESTED PER FOREST PRACTICE REQUIREMENTS
 - FF: FILTER FABRIC FENCE - SEE NOTES AND DETAIL SHEET C4
 - DI: ROCK LINED INTERCEPTOR DITCH
 - ML: HYDROSEED, FERTILIZER, AND MULCH - SEE NOTES SHEET C3
 - CL: CLEARING/CONSTRUCTION LIMITS
 - EB: EROSION CONTROL BLANKET

- PLAN NOTES:**
1. SEE PLANTING NOTES SHEET C3.
 2. 5' WIDE BENCH VERTICAL SEPARATION PER GEOTECHNICAL ENGINEER REQUIREMENTS.
 3. ACTUAL LOCATION OF TOE OF SLOPE VARIES TO ALLOW WORKING AREA/CLEARANCE. TOE OF SLOPE SHALL NOT ENCRUCH INTO WETLAND BUFFER.
 4. ACCESS ROADS SHOW ARE FOR REFERENCE ONLY. LOCATIONS SUBJECT TO BE MODIFIED AS NEEDED FOR FILLING OPERATIONS.
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QUARRY SPALL NOTE
 QUARRY SPALLS UTILIZED FOR "ROCK LINING" FOR INTERCEPTOR DITCHES SHALL MEET THE FOLLOWING GRADATION:

- PASSING 8-INCH SQUARE SIEVE: 100%
- PASSING 3-INCH SQUARE SIEVE: 40-60% MAX
- PASSING 3/4-INCH SQUARE SIEVE: 0-10% MAX

- GEOTECHNICAL NOTES**
1. CONTRACTOR SHALL HAVE PERIODIC GEOTECHNICAL REVIEWS OF TRENCH FILL.
 2. NO SLOPES GREATER THAN 3:1 WILL BE ALLOWED WITHOUT PRIOR GEOTECHNICAL APPROVAL PER GEOTECHNICAL RECOMMENDATIONS BY JICILE CREEK ENGINEERS.
 3. BENCHES SHOWN ON PLANS MAY BE ELIMINATED IF SLOPES ARE 3:1 OR LESS AND WITH GEOTECHNICAL APPROVAL AND INSPECTION.
 4. ANY CHANGES TO SLOPE SHOULD BE FULLY REVIEWS AND INSPECTED BY GEOTECHNICAL ENGINEERS.



APPROVED
 SUBJECT TO PERMIT CONDITIONS
[Signature]
 KING COUNTY LAND USE SERVICES DIV.

VERIFICATION NOTE
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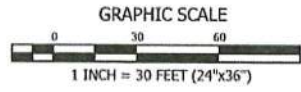
REVISION	DESCRIPTION	DATE	BY

CONTOUR	
E. N. G. I. N. F. E. R. I. N. G. J. L. L. C.	
CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS	
3309 56th Street NW, Suite 106 Gig Harbor, WA 98335	
Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourplc.com	

BERT M. ALLEN	
P.E. PROFESSIONAL ENGINEER	
07.28.2020	

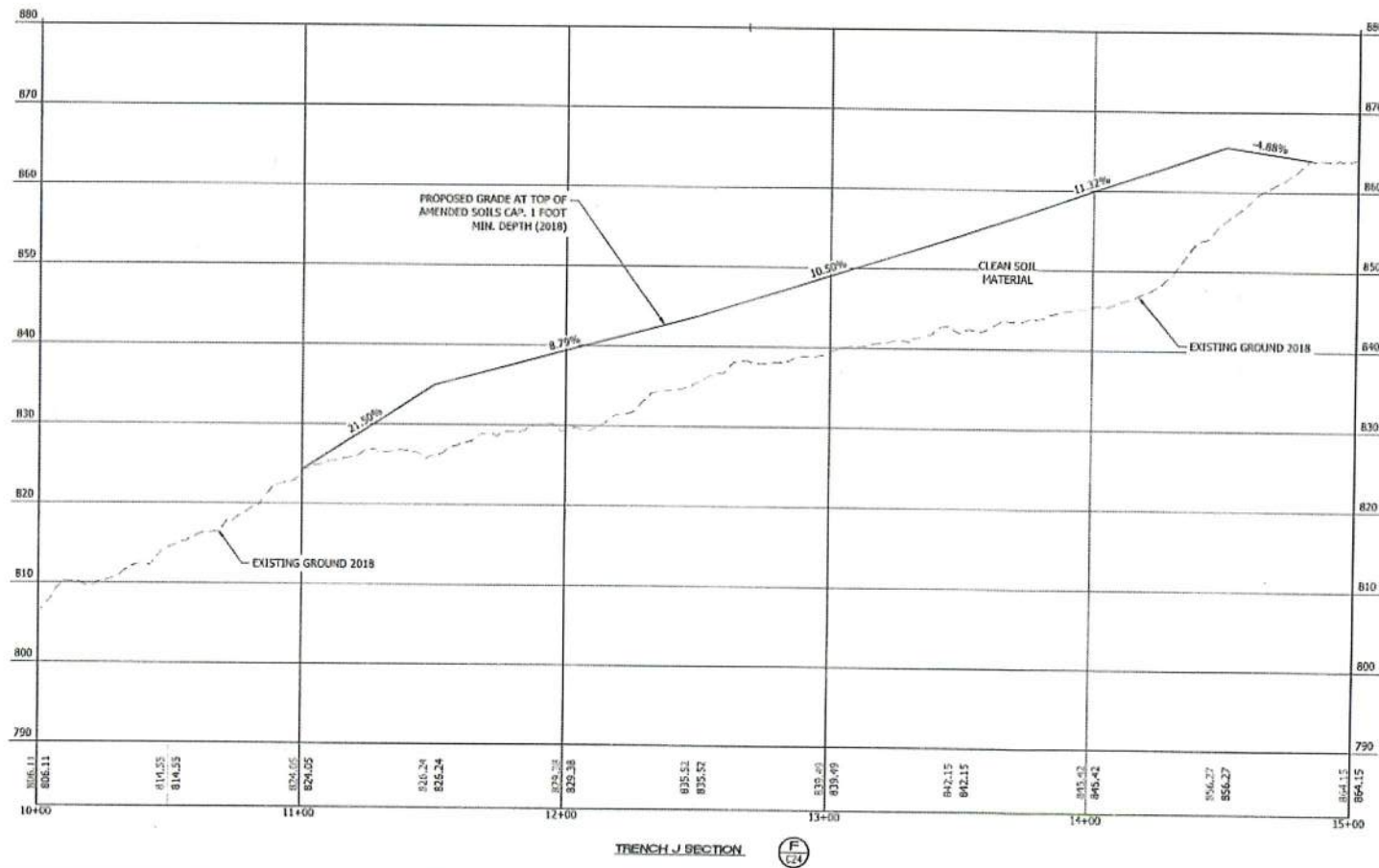
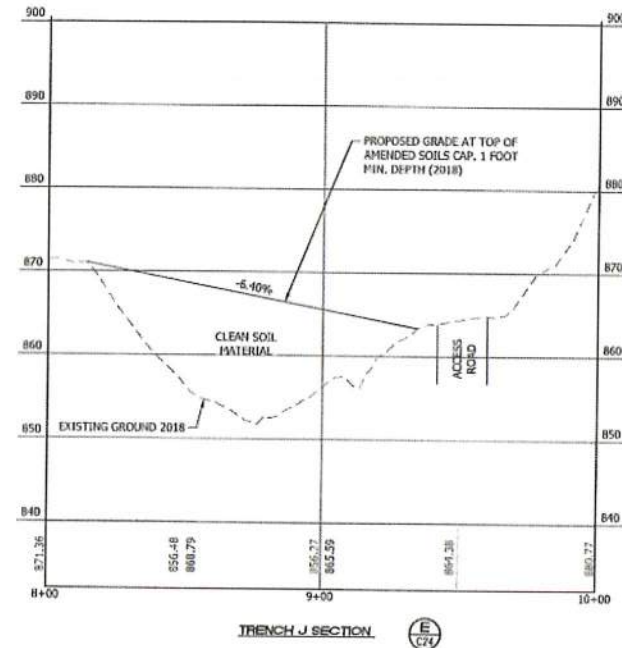
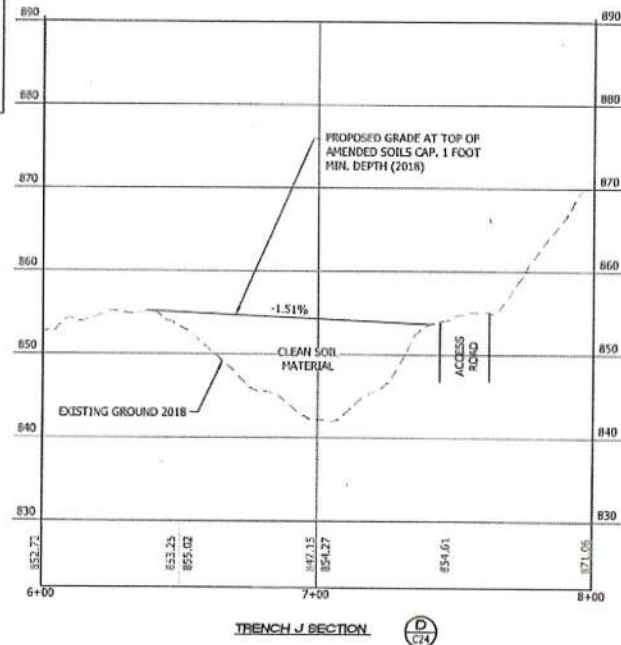
SHEET TITLE: TRENCH - J GRADING AND T.E.S.C. PLAN	PHONE: (253) 606-6060
CLIENT: RAVENSDALE LLC	CONTACT: KURT BRUCSON
41306 30TH AVENUE E	
ENTONVILLE, WA 99328	

DESIGNER: J. JACOBY	ENGINEER: B. ALLEN
DRAWN: J. JACOBY	S 1 T 21 N R 6E WM
DATE: 2020.07.28	REVISION:
PROJECT: 09-040	DWG NAME: 09-040-TRENCH-J
SHEET: C23	REV:
23 OF 24	



RAVENSDALE TRENCH FILLING
A PORTION OF THE EAST 1/2 OF SECTION 1, TOWNSHIP 21 NORTH, RANGE 6 EAST W.M.
KING COUNTY, WASHINGTON
TRENCH - J

TRENCH J:
SCALE: 1" = 30' HORIZONTAL
1" = 10' VERTICAL
PROPOSED IMPORT QUANTITY: 7,882 CY±
(BANK YARDS)
TOP SOIL: 1,158 CY±*
*ASSUMING 1' DEPTH



APPROVED
SUBJECT TO
PERMIT CONDITIONS
J. Jacobs 7/31/2020
KING COUNTY
LAND USE SERVICES DIV.

VERIFICATION NOTE
ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.
PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES, CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG

REVISION	DESCRIPTION	DATE	BY

CONTOUR
ENGINEERS-SURVEYORS~LAND PLANNERS
3309 56th Street NW, Suite 106 Gig Harbor, WA 98335
Phone: 253-857-5164 ~ Fax: 253-509-0044 ~ info@contourplc.com

BRYTT M. ALLEN
REGISTERED PROFESSIONAL ENGINEER
07.28.2020

SHEET TITLE: TRENCH - J	RAVENSDALE TRENCH FILLING
CLIENT: RAVENSDALE LLC 41305 90TH AVENUE E EATONVILLE, WA 98328	PHONE: (253) 606-6060
CONTACT: KURT ERIKSSON	
DESIGNER: J. JACOBY	
ENGINEER: B. ALLEN	
DRAWN: J. JACOBY	
S 1 T 21 N R 6E WM	
DATE: 2020.07.28	
REVISED:	
PROJECT: 09-040	
DWG NAME: 09-040 TRENCH J	
SHEET: C24	REV: 0
24 OF 24	